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Historic Preservation Commission Agenda

Tuesday, July 8, 2025 – 6:00 pm

Council Chambers, City Hall, 808 Carroll Street, Perry

1. Call to Order
2. Roll Call
3. Citizens with Input
4. Approval of the Agenda
5. Approval of Minutes – June 10, 2025, meeting
6. Announcements
 - a. Procedures for Public Hearings
 - b. Please place cell phones in silent mode
7. Old Business
8. New Business
 - **COA 0092-2025** – Accessory structure and extension of back porch at 701 Evergreen Street. The applicant is Harrison Casey.
 - **COA 0093-2025** – Extend front porch, landscaping, reside exterior, new fence, replace windows at 814 Washington Street. The applicant is James Kyle.
 - **COA 0099-2025**– Replace vinyl siding, add garage doors, replace existing handicap ramp with aluminum ramp, and add small parking area at 1100 Swift Street. The applicant is First Baptist Church of Perry, Inc.
9. Other Business
 - a. Discussion of social media posting
 - b. Commission comments and questions
10. Adjournment

All meetings of the Historic Preservation Commission are open to the public.

(478) 988-2720

<https://perry-ga.gov/historic-preservation-commission>

Historic Preservation Commission
Minutes - June 10, 2025

1. Call to Order: Chairman Griffin called the meeting to order at 6:00pm.
2. Roll Call: Chairman Griffin; Commissioner Beroza, Hubbard, Sanders and Taylor were present.

Staff: Bryan Wood – Community Development Director, Emily Carson – Community Planner, and Christine Sewell – Recording Clerk

Guests: Ellie Loudermilk, Dave Corson, and Trey Moody
3. Citizens with Input – None
4. Approval of the Agenda – Commissioner Beroza motioned to approve as presented; Commissioner Sanders seconded; all in favor and was unanimously approved.
5. Approval of Minutes – May 13, 2025, meeting – Commissioner Hubbard motioned to approve as presented; Commissioner Beroza seconded; all in favor and was unanimously approved.
6. Announcements – Chairman Griffin referred to the notices as listed.
 - a. Procedures for Public Hearings
 - b. Please place cell phones in silent mode
7. Old Business - None
8. New Business
 - a. Preliminary comments – 921 Carroll Street and 910-A Commerce Street façade modifications

Mr. Wood advised the Main Street Advisory Board (MSAB) heard the COA application for 921 Carroll Street which was to remove the roof and dormers and exploratory demolition as it is unknown what is behind the façade and it's current condition. Once this is done it will be determined on how to proceed; MSAB recommended removing and going back to the original façade if possible. The façade from past historical photos appears to have been installed in the 1980's/90's. For 910A Commerce Street MSAB approved exploratory demolition of the façade, and removal of the mansard columns. Mr. Wood advised once the exploratory demolition and course of action is decided the Mr. Trey Moody, the property owner will bring back to the Commission for a formal COA review; what is being requested today is the Commission's preliminary non-binding comments/recommendations.

Mr. Moody desires to make the properties better and unfortunately does not know what is behind the façade, hoping that it is brick in good condition and be able to bring back a more historical look; does not want an awning, will redo the front entry stoop, remove the columns; unfortunately the tree directly in front of 921 Carroll Street provides shade and moisture, which has damaged the façade, which he knows was done maybe 20 years ago and any replacement will be with something that is moisture/rot resistant. For 910A Commerce Street, could not find any historical data, but there is wing piece that is deteriorated and nearly falling off, which is a safety hazard. The end columns will remain as that is where the electrical service masts are, will square the roof and close in the opposite end and have it match the other and will do some type of delineation of the two spaces. Mr. Wood advised MSAB also approved exploratory demolition on this property as well.

Commissioner Sanders is pleased the properties are being rehabbed and if they have to do the Williamsburg façade would like to see in-kind materials and no metal. Commissioner Taylor inquired if the city could trim the tree; Mr. Moody advised the request has not been made, but where the transom window is, which is where a sign would go, you would not be able to see because of the tree. Commissioner Beroza inquired if the façade would be straightened; Mr. Moody advised it would be and agreed with the exploratory demolition and asked if as much of the original material could be rehabbed if possible; Chairman Griffin agreed with this as well.

Commissioner Sanders motioned to approve exploratory demolition; Commissioner Hubbard seconded; all in favor and was unanimously approved.

9. Other Business

a. Reflections on Past Accomplishments

Mr. Wood provided maps of the three districts established, which encompasses 241 properties, the establishment of processes, procedures, and design guidelines, as noted accomplishments since the Commission's inception.

Commissioner Sanders inquired if new history is found on a property how can the reports of designation be updated. Mr. Wood advised he will do some research and confer with DCA as they should be able to easily do and suggested an index page for updates.

b. Discussion of Future Activities

Commissioner Sanders inquired if individual properties could be designated as historic such as: Sinclair Station, Perry Area Historical Society, Evergreen Cemetery and Perry Events Center. She noted they are all owned by the city. Mr. Wood advised he would bring to Council and report back.

Commissioner Sanders inquired about historic markers such as those noting you are entering into the city limits for the districts. Mr. Wood advised the historical society installed street signs in the districts, although they do not state which district.

Commissioner Sanders asked if the downtown kiosk could be updated to show the designated historic district and include the QR code for the historic tour and removal of businesses (Walgreens, New Perry Hotel)

Commissioner Sanders asked if a resource list, which she and Commissioner Taylor have been working on, could be posted online; Mr. Wood advised it could be with a disclaimer as the city does not make recommendations.

Commissioners Sanders inquired if an educational meeting for citizens/realtors could be done; the Commission concurred with this.

Chairman Griffin for future districts to do one at a time. Mr. Wood suggested Andrew/Smoak and Old Field. With regard to Old Field, it is a significant historic African American neighborhood, however, concerned there may not be many historic structures remaining. Commissioner Taylor advised she will do some research as there most likely other areas who have dealt with the same situation.

c. Commission comments and questions – None

10. Adjournment: there being no further business to come before the Commission the meeting was adjourned at 6:58pm.

DRAFT



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STAFF REPORT

July 1, 2025

CASE NUMBER: COA-0092-2025
APPLICANT: Harrison Casey
REQUEST: Extend rear porch roof, add accessory building
LOCATION: 701 Evergreen Street; Parcel No. 0P0030 044000
DISTRICT: Washington-Evergreen

APPLICANT'S REQUEST: The applicant proposes to install a new 12' X 16' accessory storage shed; remove an existing pergola and extend the porch roof over the area of the pergola. The accessory structure will be clad in cement fiber siding with asphalt shingles to match the primary structure.

STAFF COMMENTS: The proposed extension of the rear porch roof will not be visible from Evergreen Street but will be slightly visible from Duncan Avenue. The new storage shed will be located in the northwest corner of the back yard. While there is a 6' tall privacy fence around the property, the upper portion of the structure will likely be visible from both streets.

STAFF RECOMMENDATION: Approval as presented.

APPLICABLE DESIGN GUIDELINES ATTACHED. Residential Rehabilitation: Additions; Residential Site and Settings: Outbuildings



View from Evergreen Street



View from Duncan Avenue



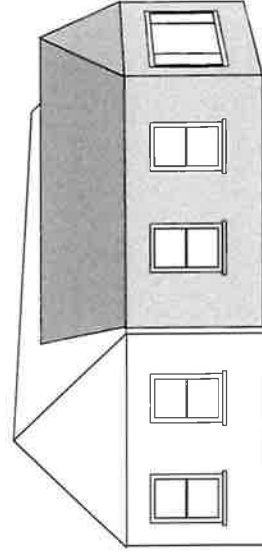
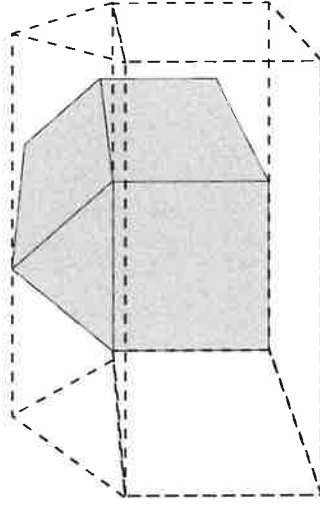
ADDITIONS

GOAL:

The primary goal is to allow for the expansion of a house while maintaining its historic character.

Actions to achieve the goal:

- ▶ Additions should respect the original portion of the house by:
 - a) being placed away from the public view on the rear elevation or on a side elevation well behind the facade,
 - b) not obscuring the form, orientation, or symmetry of the original structure,
 - c) creating a discernible break at the juncture with the original structure,
 - d) using matching or similar materials for roofing and siding,
 - e) using matching or similar elements, such as windows, on side elevations and reserving more modern elements for the rear elevation,
 - f) not exceeding the degree of ornamentation on the original structure, and
 - g) being reversible with a limited loss of historic materials and elements.



Additions refers to any increase in the square footage of a house.

Glossary terms:

Elevation.

Any of the external faces of a building.

Facade.

The front elevation or “face” of a building.

Public view.

That which can be seen from any public right-of-way.

Reversible.

Constructing additions or new elements in such a manner that if removed in the future original form and material would be largely unchanged.

Routine maintenance.

Any action performed in order to preserve a historic property including minor replacement of material with like material providing no change is made to the appearance of the structure or grounds.

Orientation.

The direction that the building (usually includes the primary entrance) faces.

- more terms found in the *Glossary*, p. 96

Notes/Revisions:

Changes requiring a COA ***Examples:***

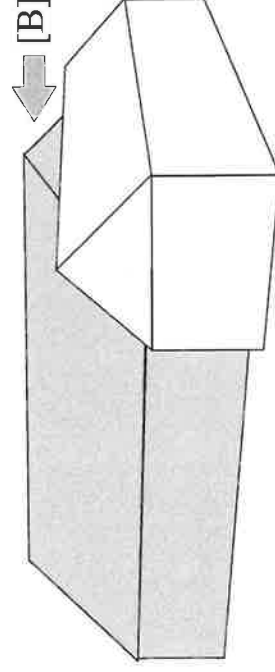
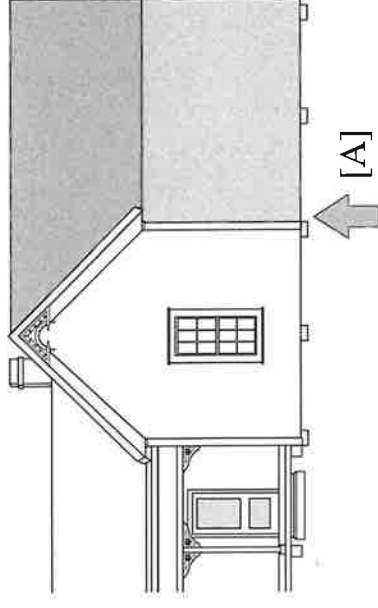
- * Adding an addition to a house.
- * Removing an addition from a house.

Changes not requiring a COA ***Examples:***

- * Routine maintenance to existing additions.

Common Mistakes

- ▶ *Placing a side addition flush with the facade of the house. [A]*
- ▶ *Constructing an addition out of scale which greatly alters the original form or roof of the house. [B]*
- ▶ *Using incompatible materials or details on an addition.*
- ▶ *Removing a large amount of original material to add an addition.*



OUTBUILDINGS

GOAL:

The primary goal is to preserve historic outbuildings and to pattern new outbuildings after historic examples.

Actions to achieve the goal:

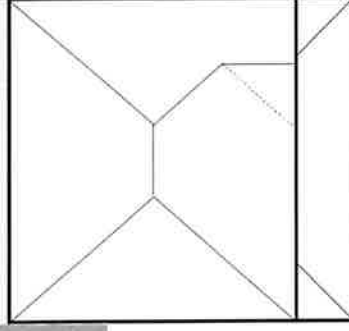
- ▶ Historic outbuildings should be preserved and maintained.
- ▶ Rehabilitation of historic outbuildings should be consistent with the rehabilitation guidelines for houses with regard to foundations, materials, details, windows, doors, and roofs.
- ▶ New outbuildings should:
 - a) use traditional placement, generally well behind the rear wall of the house,
 - b) should not be attached to the house,
 - c) should not be out of scale with the house, and
 - d) should use materials and design compatible with the house when within the public view.

Outbuilding Locations

*modern design
and
construction
acceptable*

*traditional
design and
construction
acceptable*

*traditional
design and
construction
acceptable*



Outbuildings refers to historic and modern structures secondary to the main structure on the property.

Glossary terms:

Facade line.

An imaginary line established by the fronts of buildings on a block.

Public view.

That which can be seen from any public right-of-way.

Routine maintenance.

Any action performed in order to preserve a historic property including minor replacement of material with like material providing no change is made to the appearance of the structure or grounds.

- more terms found in the *Glossary*, p. 96

Changes requiring a COA Examples:

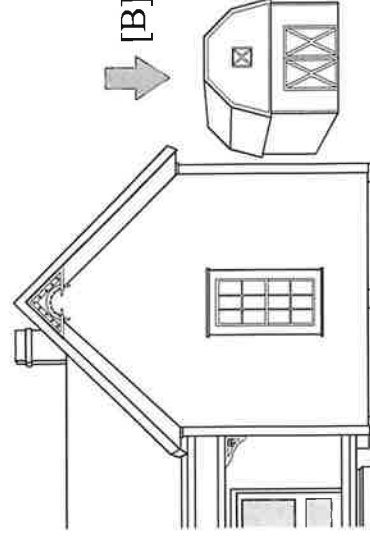
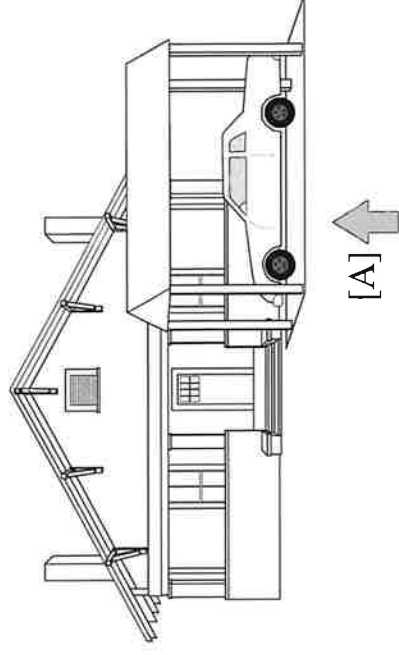
- * Demolition of an outbuilding.
- * Construction of garage or carport.
- * Construction of a storage shed.
- * Construction of any other type of outbuilding.
- * Adding to an outbuilding.
- * Relocation of an outbuilding.

Changes not requiring a COA Examples:

- * Painting an outbuilding.
- * Reroofing an outbuilding.
- * Routine maintenance to an outbuilding.

Common Mistakes

- ▶ *Placing outbuildings, including garages and carports, at the front of the property. [A]*
- ▶ *Attaching carports or garages to the house.*
- ▶ *Constructing outbuildings of an incompatible design when within the public view. [B]*
- ▶ *Using modern materials when the outbuilding is within the public view.*
- ▶ *Constructing outbuildings of an inappropriate scale.*





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Application # COA 0092-2025

Application for Certificate of Appropriateness Historic Preservation Commission

Contact Community Development (478) 988-2720 for information

	Applicant	Property Owner*
Name	Harrison Casey	
Title		
Address	701 Evergreen St Perry GA 31069	
Phone	[REDACTED]	
Email	[REDACTED]	
Signature	[Signature]	
Date	05-27-2025	

*If the applicant is not the owner, the owner must sign this form or provide a letter authorizing the proposed work.

Property Address	701 Evergreen St Perry GA 31069
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Type of Project (Check all that apply):	
Construction ☒ New building ☒ Addition to existing building ☐ Major building restoration, rehabilitation, or remodel ☐ Other type of exterior change, explain: _____	Site Changes ☐ Parking area, driveways, or walkway ☐ Fence, wall, or landscaping ☐ Mechanical system or non-temporary structure ☐ Sign ☐ Demolition or relocation of building

Describe the proposed project (attach additional sheets as necessary). The description should include proposed materials. Please divide the description if the proposed scope of work will involve more than one type of project. (Example: 1. building addition and 2. sign installation).

1. 16x20 Storage Shed in back right corner of the property. The building will have the same style of roofline as the house, in the same direction. The building will be framed with wood and will be finished with concrete siding. It will be the same color as the house. Materials will be wood siding, shingles.

2. Extending the pre-existing back porch cover to cover more of back porch. It will be finished the same way as the current covering. ~~It will be~~ materials will be wood and shingles.

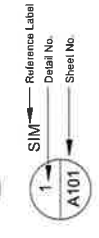
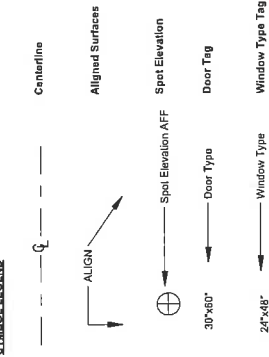
CONSTRUCTION SET FOR 16'-0" x 20'-0" SHED



ABBREVIATIONS

[illegible]

SYMBOL LEGEND



PROJECT NOTES

- DRAWINGS ARE BASED ON THE LATEST INTERNATIONAL RESIDENTIAL CODE (IRC) BY INTERNATIONAL COUNCIL.
- DRAWINGS ARE BASED ON THE LATEST INTERNATIONAL ELECTRICAL CODE (IEC) BY INTERNATIONAL COUNCIL.
- INSULATION REQUIREMENTS VARY BY CLIMATE ZONE LOCATION. MUST ASSURE NO INSULATION AS LOCAL CLIMATE JUST AS NEEDED.
- ALL CONSTRUCTION AND MATERIALS MUST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION OF PROJECT LOCATION.

16X20 SHED

ADDRESS:

COVER SHEET

SCALE	As indicated
A1	



GENERAL NOTES

- PRIOR TO BEGINNING THE WORK, THE GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS AT JOB SITE.
- DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. DIMENSIONS ARE SHOWN TO FINISH MATERIAL.
- THE GENERAL CONTRACTOR AND WINDOW MANUFACTURER SHALL VERIFY THE SIZE AND FIT OF ALL WINDOWS PRIOR MANUFACTURE.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT TYPICAL FOR STANDARD CONSTRUCTION OF ANY WORK SHALL BE INCLUDED IN CONTRACT AS THOUGHT IT WERE SHOWN IN THESE DOCUMENTS.
- CONTRACTORS ARE SOLELY RESPONSIBLE FOR SAFETY OF PROCEDURES IN CONSTRUCTION AND SHALL CARRY LIABILITY INSURANCE FOR BODILY INJURY AND PROPERTY DAMAGE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH GOVERNING CODES, ORDINANCES, AND REGULATIONS OF POLITICAL JURISDICTIONS IN WHICH THE WORK IS LOCATED. CONTRACTOR SHALL BE CONSIDERED TO PERMIT WORK NOT IN CONFORMANCE WITH SUCH CODES.
- ALL MATERIALS SHALL BE WARRANTED FOR A PERIOD OF YEAR FROM DATE OF INSTALLATION UNLESS A SPECIFIC ITEM HAS MORE LIBERAL TERMS FROM MANUFACTURER.
- SITE TO BE NEATLY MAINTAINED DURING CONSTRUCTION, RESTORED TO ORIGINAL CONDITION AT END OF WORK.
- COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THEY ARE MORE STRINGENT THAN THE REQUIREMENTS SET FORTH IN THESE DOCUMENTS.
- EXCESS MATERIALS SHALL BE REMOVED FROM SITE BY CONTRACTORS AND LEGALLY DISPOSED OF.
- THE OWNER SHALL MAKE ALL SELECTIONS OF HARDWARE, LIGHT FIXTURES, FLOOR AND WALL FINISHES AND IN GENERAL, ALL COLOR SELECTIONS.
- THE OWNER SHALL COORDINATE WORK PROCEDURES WITH THE REQUIREMENTS OF THE BUILDING INSPECTOR AND OTHER LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A NEATLY ORGANIZED, PACKAGED CONTAINING ALL EQUIPMENT OPERATION AND MAINTENANCE, PRODUCT INFORMATION, WRITTEN WARRANTIES AND GUARANTEES, AND SERVICE CONTRACTS FOR ALL PRODUCTS, SYSTEMS AND SERVICES PROVIDING SUCH INFORMATION. THE CONTRACTOR SHALL ARRANGE FOR THE APPROPRIATE REPRESENTATIVE TO MAKE ALL EQUIPMENT OPERATIONS AND MAINTENANCE OF EACH SYSTEM WITH THE OWNER OR OWNERS REPRESENTATIVE.
- ALL HVAC, ELECTRICAL, FIRE ALARM AND FIRE PROTECTION PORTIONS OF CONSTRUCTION SHALL BE COMPLETED PRIOR TO THE START OF WINDOW INSTALLATION. CONTRACTORS/CONTRACTORS, THE PERSON LICENSED IN THEIR TRADE SHALL ARRANGE FOR, AND OBTAIN INSPECTIONS AND SIGN-OFFS AS REQUIRED BY LOCAL AUTHORITIES.

GRADES

- FINISH GRADE AT BUILDING TO BE A MINIMUM OF 6" BELOW TOP OF FOUNDATION.
- FINISH GRADE TO SLOPE AWAY FROM FOUNDATION A MINIMUM OF ONE INCH PER FOOT FOR A DISTANCE OF AT LEAST 8 FEET FROM THE STRUCTURE AND DRAINAGE OFF PROPERTY BY APPROVED MEANS.

CONCRETE

- ALL CONCRETE SHALL BE AIR-ENTRAINED. IT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (FCI) OF THE FOLLOWING AT 28 DAYS:
 - 3,000 PSI FOUNDATION WALLS, FOOTINGS AND PIERS.
 - 3,500 PSI ALL PLATWORK EXPOSED TO WEATHERING INCLUDING GARPORT AND GARAGE SLABS, DRIVEWAYS, PATIOS, AND EXTERIOR WALKS.
- MINIMUM THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND IS 3 1/2". AN APPROVED VAPOR BARRIER OF 6-MIL POLYETHYLENE WITH LAPPED JOINTS OF A MINIMUM OF 6" SHALL BE PLACED BELOW CONCRETE FLOOR SLABS.
- CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS.
- CONCRETE MIXES SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - TYPE I PORTLAND CEMENT - ASTM C-150, GRADE 90.
 - CONCRETE AGGREGATES - ASTM A-615
 - REINFORCING RODS - ASTM A-615
 - WELDED WIRE FABRIC - ASTM A495, (6X6 10'X10')
- ONE HALF INCH DIAMETER ANCHOR BOLTS AT 6" O.C. MAX. SET 8" MIN. INTO CONCRETE. WITH NUTS AND 1 1/2" WASHERS, ARE REQUIRED FOR ANCHORAGE OF WOOD SILL PLATES (2X4 MIN.) AROUND THE ENTIRE FOUNDATION.

DAMP-PROOFING

- 4" MINIMUM GRAVEL BASE REQUIRED UNDER FLOOR SLAB AND SHALL PROVIDE CONTINUOUS DRAINAGE TO A SUMP OR SHALL BE "DAY LIGHTED".
- WALL DAMPROOFING SHALL BE INSTALLED FROM THE TOP OF A FOOTING TO ABOVE GRADE LEVEL AND TO BE OF AN APPROVED BITUMINOUS MATERIAL.
- BACKFILL SHOULD BE FREE OF DEBRIS AND LARGER ROCKS AND PLACED IN LIFTS AND EACH LIFT COMPACTED TO FILL ALL VOIDS.
- DOWNSPOUTS SHALL DIRECT WATER AWAY FROM THE FOUNDATION SO AS TO PREVENT SOIL EROSION.

WOOD ROOF TRUSSES

- THE DESIGN AND FABRICATION CRITERIA OF ALL WOOD TRUSSES SHALL CONFORM WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENERS" BY THE NATIONAL FOREST PRODUCTS ASSOC. (LATEST REVISION).
- "TIMBER CONSTRUCTION AND DESIGN SPECIFICATIONS" (LATEST REVISION) AND ALL OTHER RELEVANT CODES SHALL BE STRICTLY ADHERED TO. TRUSSES SHALL COMPLY WITH HUD HANDBOOK NO. 4860.2.
- WHERE FIELD CONNECTIONS OF TRUSS SUB-ASSEMBLIES ARE NECESSARY, SPECIAL NAIL-ON SPICE PLATES ARE ACCEPTABLE, PROVIDING THE PLATE SIZES AND PLACEMENT ARE SIGNED OFF BY THE TRUSS ENGINEERING DESIGNS AS APPROVED BY A PROFESSIONAL ENGINEER.

FRAME CONSTRUCTION

- ALL FRAMING LUMBER, PLYWOOD, EXTERIOR SIDING, SHEATHING, ETC., TO BE NAILED AS SPECIFIED IN THE FASTENER SCHEDULE OF THE MOST CURRENTLY ADOPTED CODE.
- ALL EXPOSED MATERIAL FOR SOFFITS, OVERHANGS, ETC., SHALL BE OF CODE APPROVED EXTERIOR MATERIAL.

INSULATION

- CEILINGS OVER HEATED AREAS TO BE R-30 MINIMUM.
- SIDE WALLS AND BAND BOARDS SURROUNDING HEATED AREAS TO BE R-13 MINIMUM.
- SEPARATE VAPOR BARRIER OR EQUIVALENT IS REQUIRED ON ALL EXTERIOR WALLS.
- SILL SEALER SHALL BE INSTALLED BETWEEN SILL PLATE AND FOUNDATION.
- CEILING OF UNHEATED AREAS SEPARATING HEATED AREA TO BE R-19 MINIMUM.
- ALL HVAC DUCTS THROUGH UNHEATED AREAS TO BE INSULATED WITH 1" DUCT WRAP MINIMUM.
- EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN 25 AND SMOKE DEVELOPED RATING OF 450 OR LESS.

ELECTRICAL HVAC.

- DESIGN REFERENCE RELATED TO ELECTRICAL AND HVAC IS FOR REFERENCE ONLY. OWNER TO COORDINATE WITH HIS CONTRACTOR TO PROVIDE WORKS AS REQUIRED BY CODE AND LOCAL AUTHORITIES.
- EXPOSED EXTERIOR AND UNDERGROUND WIRING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASHRAE GUIDE, THE CONSTRUCTION STANDARDS OF SMACNA, AND ALL STATE, COUNTY, AND LOCAL CODES.
- DO NOT CONNECT DOWNSPOUTS OR DRAIN TILE INTO THE SANITARY SEWER. DOWNSPOUTS SHALL BE ELBOWED AT GRADE WITH SPLASH BLOCKS.

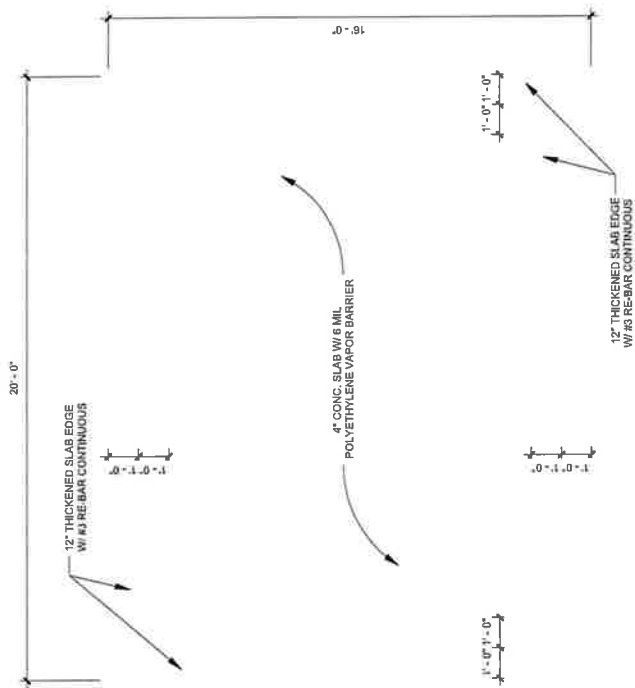
CAULKING, SEALANTS, AND FLASHING

- EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW & DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.
- METAL FLASHING SHALL BE INSTALLED AT THE ROOF AND THE WALL INTERSECTIONS.
- INSTALL 2 LAYERS OF 15# ROOF FELT (MINIMUM) IN ALL ROOF VALLEYS OF ROOF INTERSECTIONS.

FINISHES

- MAXIMUM FLAME SPREAD ON ALL INTERIOR FINISH MATERIALS SHALL NOT EXCEED 75.
- DRYWALL INSTALLATION SHALL BE IN ACCORDANCE WITH IRC (LATEST REVISION) AND CONFORMANCE WITH THE GYPSUM ASSOCIATION RECOMMENDED PRACTICE FOR THICKNESS, NAILING AND TAPING ON CORRECT STUD SPACING UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS.
- PAINTING, USE BEST GRADE PAINT FROM NEW CONTAINERS, BENJAMIN MORE OR EQUAL.
- EXTERIOR: 1 COAT PRIMER, 2 COATS SEMI-GLOSS FINISH LATEX.
- INTERIOR DRYWALL: 1 COAT PRIMER, 2 COATS OF FLAT FINISH LATEX.
- ALL PAINT AND STAIN COLORS TO BE SELECTED BY OWNER, PROVIDE SAMPLE BOARDS OF ALL COLORS FOR APPROVAL.
- PROVIDE MAINTENANCE STOCK OF ALL FINISHES IN STRONG, SECURE AND CLEARLY LABELED CONTAINERS.

16X20 SHED
ADDRESS:
GENERAL NOTES
SCALE 1/4" = 1'-0"
A2
SCAN FOR BLUEPRINTS



1 FOUNDATION PLAN
1/4" = 1'-0"



16X20 SHED
ADDRESS:
FOUNDATION PLAN
SCALE 1/4" = 1'-0"
A3
SCAN FOR BLUEPRINTS

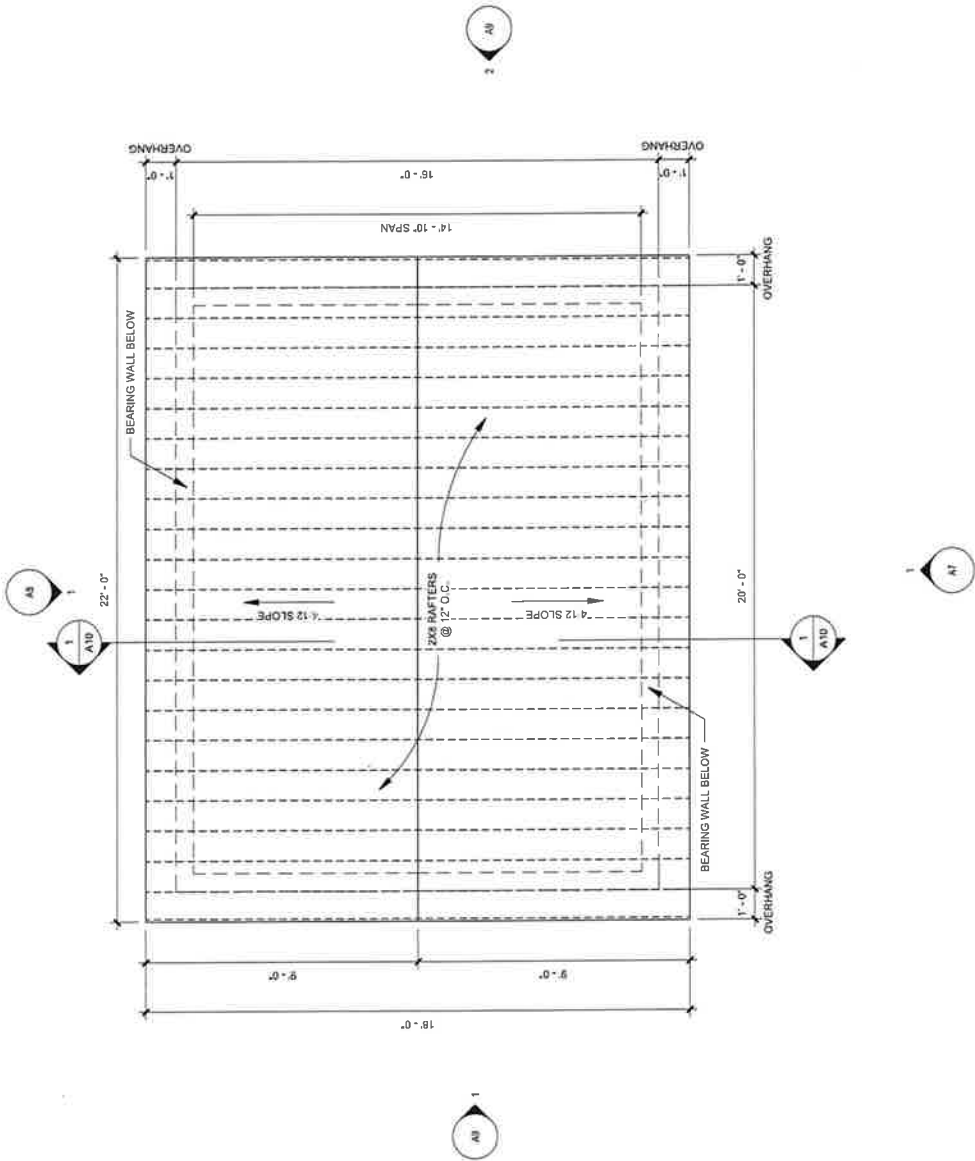
- ALL FRAMING LUMBER TO BE SOUTHERN PINE OR DOUGLAS FIR. PREFERRED LUMBER IS NO. 2 SOUTHERN PINE.
- ALL FRAMING LUMBER IN CONTACT WITH CEMENT TO BE PRESSURE TREATED.



16X20 SHED
ADDRESS:
FLOOR PLAN
SCALE 1/4" = 1'-0"
A4
 SCAN FOR BLUEPRINTS

FRAMING NOTE

- ALL FRAMING LUMBER TO BE SOUTHERN PINE OR DOUGLAS FIR. PREFERRED LUMBER IS NO. 2 SOUTHERN PINE.
- ALL FRAMING LUMBER IN CONTACT WITH CEMENT OR CONCRETE TO BE PRESSURE TREATED.
- SIMPSON LRU5 GALV. RATTEN HANGER, TYPICAL.

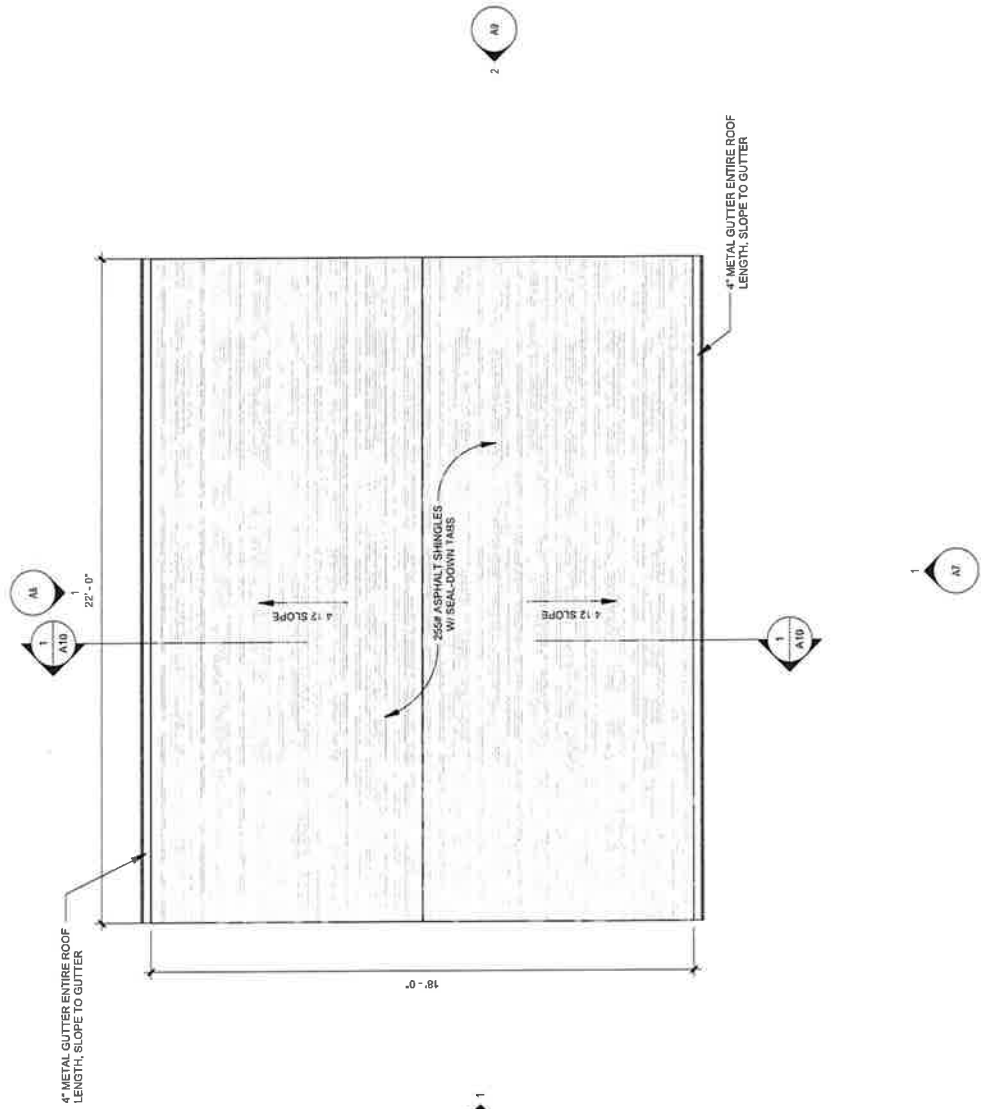


1 ROOF FRAMING PLAN
1/4" = 1'-0"



16X20 SHED
ADDRESS:
ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"
A5
SCAN FOR BLUEPRINTS

ROOF NOTE
UNDERLAYMENT FOR ASPHALT SHINGLES
SLOPES OF 2:12 TO LESS THAN 4:12 SHALL BE
PROTECTED WITH TWO LAYERS OF UNDERLAYMENT.
PARALLEL WITH AND STARTING AT THE EAVES,
FASTENED SUFFICIENTLY TO HOLD INTO PLACE.
STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF
UNDERLAYMENT. SUCCESSIVE 36" WIDE SHEETS OF
UNDERLAYMENT SHALL OVERLAP PREVIOUS 36"
WIDE SHEET BY 18". ALL UNDERLAYMENT SHALL BE
FASTENED SUFFICIENTLY TO HOLD INTO PLACE.

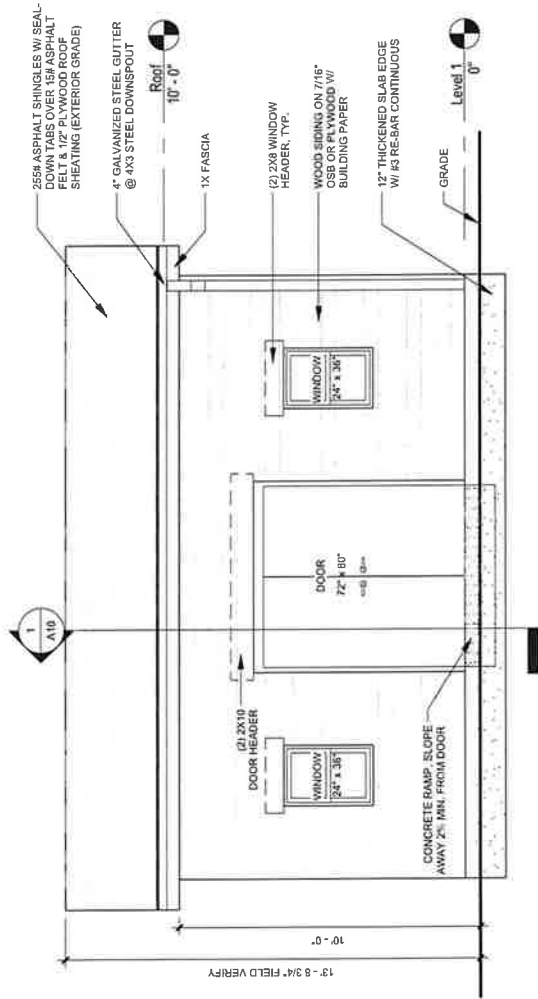


1 ROOF PLAN
1/4" = 1'-0"



16X20 SHED
ADDRESS:
ROOF PLAN
SCALE 1/4" = 1'-0"
A6
SCAN FOR BLUEPRINTS

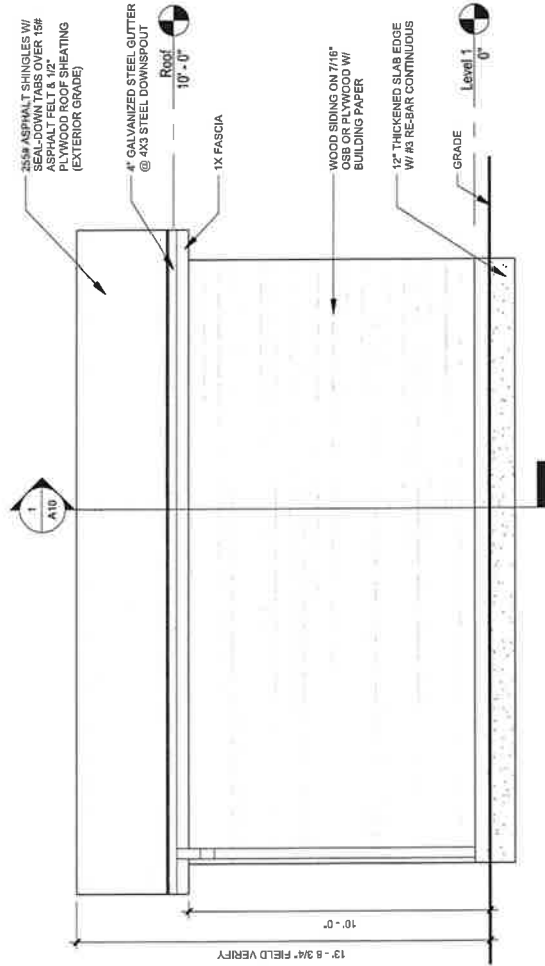
UNDERLAYMENT FOR ASPHALT SHINGLES:
UNDERLAYMENT FOR ASPHALT SHINGLES SHALL BE PROTECTED WITH TWO LAYERS OF UNDERLAYMENT. APPLY A 1" STRIP OF UNDERLAYMENT FELT PARALLEL WITH AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD INTO PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT. SUCCESSIVE 36" WIDE SHEETS SHALL BE LAPPED WITH A MINIMUM OVERLAP OF 15". ALL UNDERLAYMENT SHALL BE FASTENED SUFFICIENTLY TO HOLD INTO PLACE.



1 EAST ELEVATION
1/4" = 1'-0"

16X20 SHED
ADDRESS:
ELEVATION
SCALE 1/4" = 1'-0"
A7
SCAN FOR BLUEPRINTS

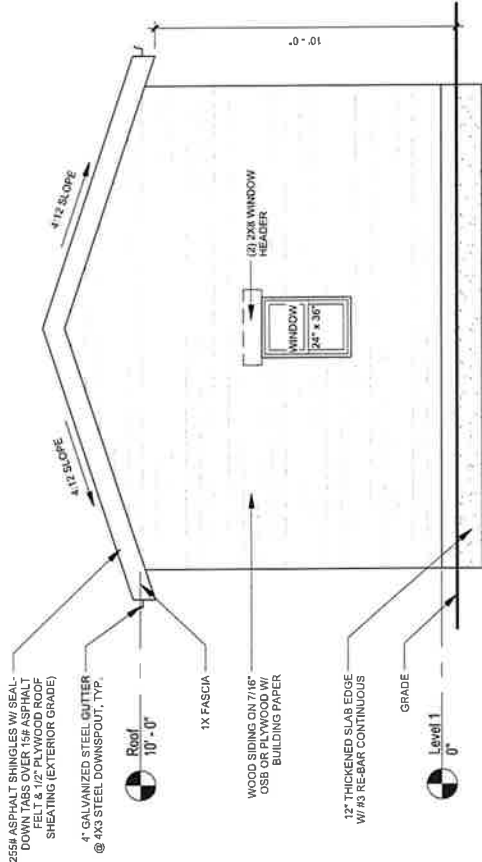
UNDERLAYMENT FOR ASPHALT SHINGLES:
UNDERLAYMENT SHALL BE PROTECTED WITH TWO LAYERS OF
UNDERLAYMENT. APPLY A 10" STRIP OF UNDERLAYMENT FELT PARALLEL WITH AND
STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD INTO PLACE. STARTING
AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT, SUCCESSIVE 36" WIDE
SHEETS OF UNDERLAYMENT SHALL OVERLAP THE PREVIOUS 36" WIDE SHEET BY 18".
ALL UNDERLAYMENT SHALL BE FASTENED SUFFICIENTLY TO HOLD INTO PLACE.



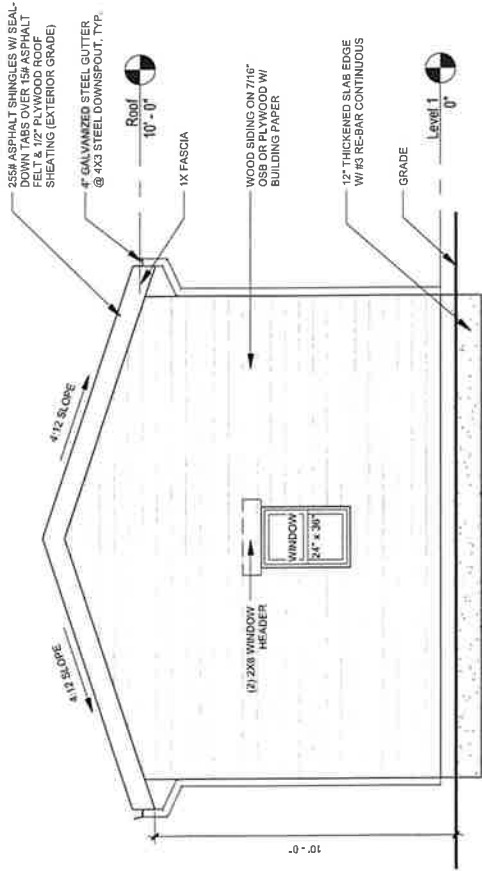
1 WEST ELEVATION
1/4" = 1'-0"

16X20 SHED
ADDRESS:
ELEVATION
SCALE 1/4" = 1'-0"
A8
SCAN FOR BLUEPRINTS

UNDERLAYMENT FOR ASPHALT SHINGLES
UNDERLAYMENT FOR ASPHALT SHINGLES SHALL BE PROTECTED WITH TWO LAYERS OF UNDERLAYMENT. APPLY A 10" STRIP OF UNDERLAYMENT FELT PARALLEL WITH AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD INTO PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT, SUCCESSIVE 36" WIDE SHEETS SHALL BE LAPPED OVER PREVIOUS SHEET BY 18". ALL UNDERLAYMENT SHALL BE FASTENED SUFFICIENTLY TO HOLD INTO PLACE.

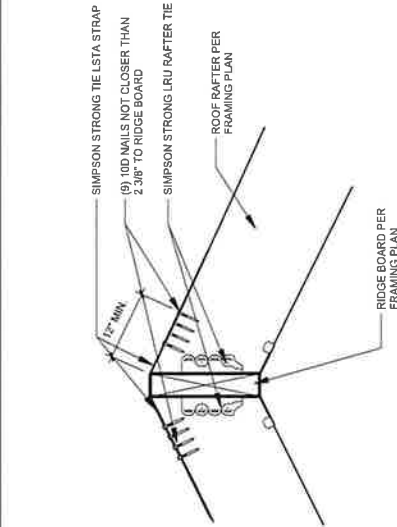


1 SOUTH ELEVATION
1/4" = 1'-0"

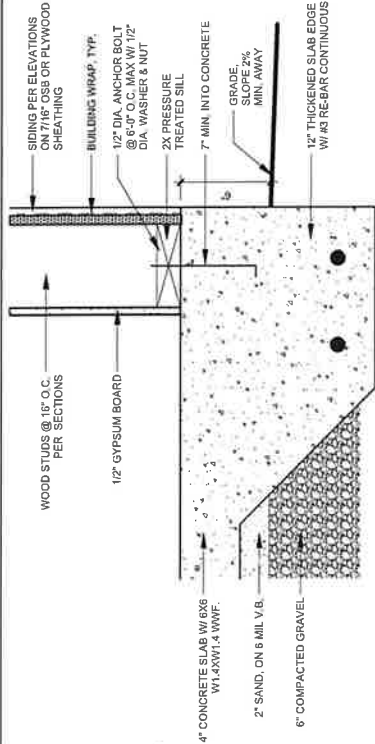


2 NORTH ELEVATION
1/4" = 1'-0"

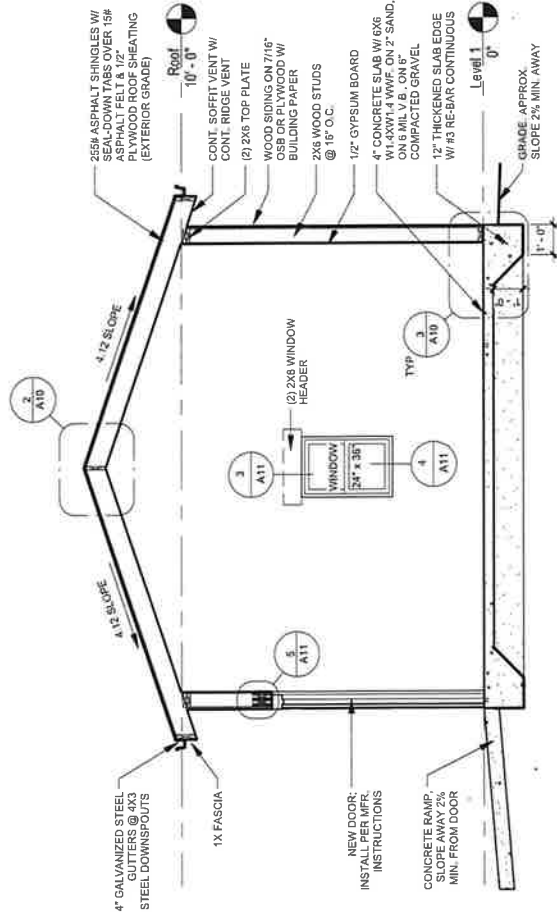
16X20 SHED
ADDRESS:
ELEVATIONS
SCALE 1/4" = 1'-0"
A9
SCAN FOR BLUEPRINTS



2 RIDGE BOARD DETAIL
1 1/2" = 1'-0"

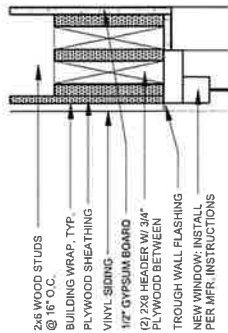


3 SILL PLATE DETAIL
1 1/2" = 1'-0"

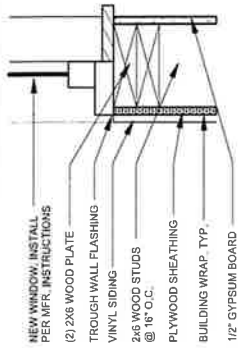


1 SECTION
1/4" = 1'-0"

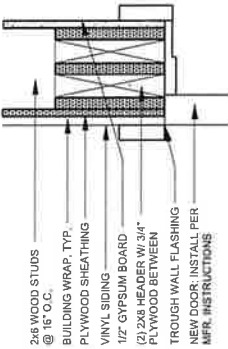
16X20 SHED
ADDRESS:
SECTION & DETAILS
SCALE As indicated
A10
SCAN FOR BLUEPRINTS



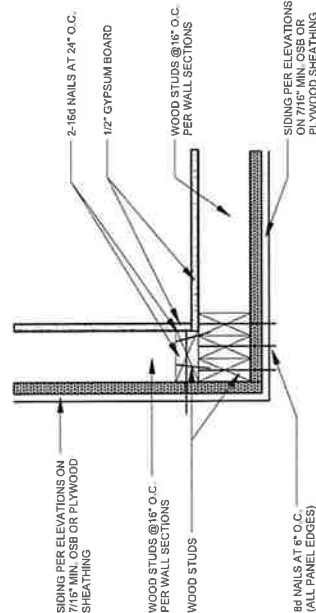
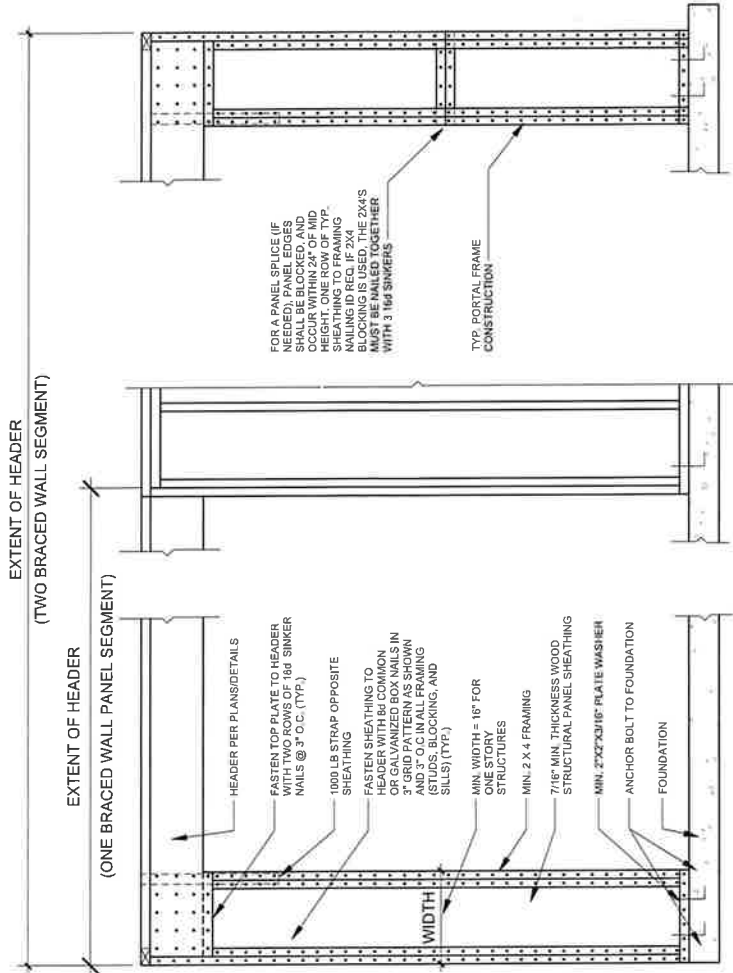
3 EXTERIOR WINDOW HEAD DETAIL
1 1/2" = 1'-0"



4 EXTERIOR WINDOW SILL DETAIL
1 1/2" = 1'-0"



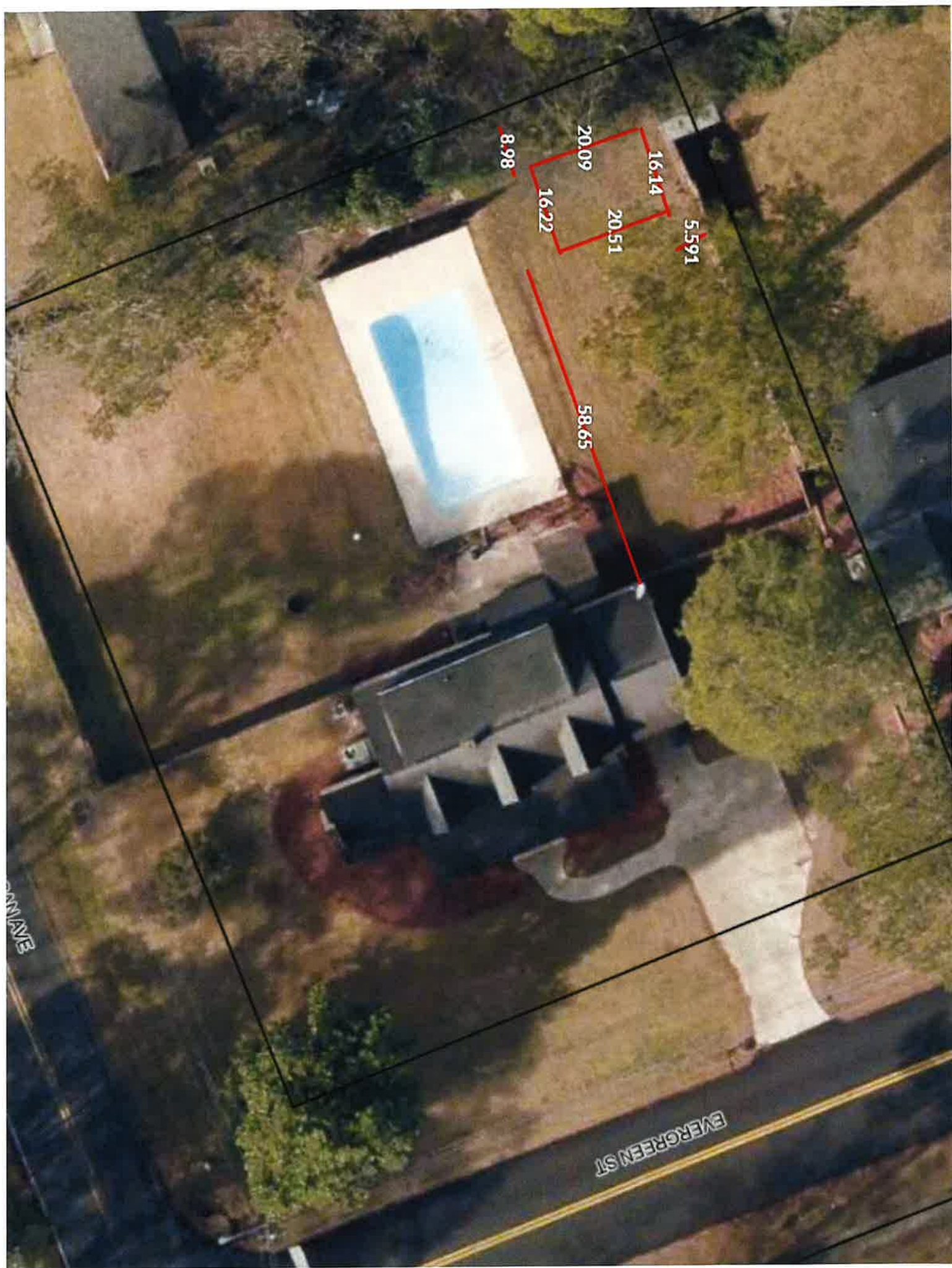
5 EXTERIOR DOOR HEAD DETAIL
1 1/2" = 1'-0"



1 WALL BRACING CORNER DETAIL
1 1/2" = 1'-0"

2 WALL BRACING DETAIL
12" = 1'-0"

16X20 SHED
ADDRESS:
DETAILS
SCALE As indicated
A11
SCAN FOR BLUEPRINTS



EVERGREEN ST

DRIVE



Where Georgia comes together.

STAFF REPORT

July 1, 2025

CASE NUMBER: COA-0093-2025
APPLICANT: James Kyle (Kakapo Properties LLC)
REQUEST: Renovate exterior of house
LOCATION: 814 Washington Street; Parcel No. 0P0030 019000
DISTRICT: Washington-Evergreen

APPLICANT'S REQUEST: The applicant proposes to remove the vinyl siding and replace with wood lap siding; replace windows with fiberglass-clad wood windows; add windows on the rear addition; extend the front porch across the full width of the front façade; replace porch railing with a traditional picket; replace front door with more windows; and remove façade extension on front left.

STAFF COMMENTS: The house has both Craftsman and English Vernacular Revival elements constructed circa 1942.

- Siding Replacement: Replacing the siding is consistent with the design guidelines.
- Window Replacement: The existing and original 1-over-1 windows are not character-defining elements of the house. One 6-over-1 window exists on the rear façade. The applicant proposes custom 6-over-6 Marvin wood windows with a fiberglass exterior cladding. These windows have an integrated exterior grid with appropriate dimensions and depth.
- Window Additions: The area in which additional windows are proposed is clearly an addition on the southeast corner of the house. Additional windows would break up the expanse of siding and be more consistent with openings on other facades of the house.
- Front Porch: The proposed extension of the front porch, if extending to the corner of the actual house, is only about 4 feet from the existing porch. This would not permanently alter the character of the house.
- Porch Railing: Based on the historic photo of the house, porch railings were not used. Because of the height of the porch above the surrounding grade, building codes do not require a railing. The proposed picket railing would not permanently alter the character of the house.
- Front Door Replacement: Based on the historic photo of the house a full- or ¾-light door would be appropriate.
- Remove Façade Extension: Based on the historic photo of the house, the "English Vernacular Revival" extension is original to the house. It should not be removed. Replacing the existing lattice gate with a gate similar to the one in the historic photo would be appropriate.

STAFF RECOMMENDATION: Approval of the proposed modifications, excluding removal of the façade extension.

APPLICABLE DESIGN GUIDELINES ATTACHED. Residential Rehabilitation: Materials; Details; Windows; Doors; Porches.



Historic Picture



View from Washington Street



Views from Gilmer Street

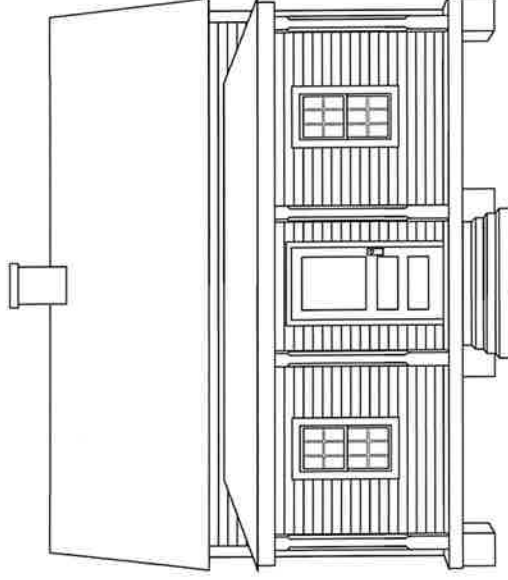


GOAL:

The primary goal is to maintain the texture created by historic exterior materials.

Actions to achieve the goal:

- ▶ Maintain historic siding.
- ▶ Leave unpainted masonry unpainted and uncoated.
- ▶ Repair damaged siding or replace with in-kind material and only in the area of damage (rather than completely replacing the siding).
- ▶ Use a historic mortar mix [see right] and match the original mortar joints when repointing brick. Use a qualified professional mason.
- ▶ Use the gentlest means possible to clean exterior materials.



Materials, in this instance, refers to the material with which the exterior walls of the house are covered.

Glossary terms:

Bond.

A term used to describe the various patterns in which brick is laid.

Gentlest means possible.

The least abrasive, intrusive, damaging means of preserving historic material.

Historic mortar mix.

There are designated five mortar types. Typically, the repointing mortar for historic buildings will be a Type O or K mortar. Mortar specifications permit a range of proportions, but typical proportions by volume are: Type O - 1 part portland cement, 2 parts hydrated lime, and 9 parts sand; Type K - 1 part portland cement, 4 parts hydrated lime and 15 parts sand.

In-kind.

Using the exact same material when replacing a damaged element (e.g. using a wood element to replace a wood element).

Reveal.

The vertical profile created by the lap of siding, window casings, muntins, door surrounds, etc.

Siding. The exterior wall covering or sheathing of a structure.

- more terms found in the *Glossary*, p. 96

Changes requiring a COA Examples:

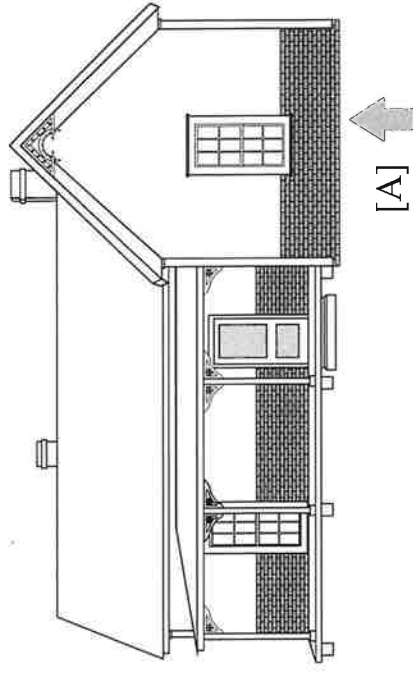
- * Removing siding material.
- * Residing a building.
- * Painting unpainted masonry.
- * Entirely removing paint from a building.
- * Repointing of brick.

Changes not requiring a COA Examples:

- * Repainting a building.
- * Preparing surfaces for repainting.

Common Mistakes

- ▶ *Placing vinyl or aluminum siding, EIFS (synthetic stucco), or any other type of synthetic siding on a historic house rather than maintaining and repairing the existing exterior materials.*
- ▶ *Adding brick veneer to a house. [A]*
- ▶ *Sandblasting exterior surfaces.*
- ▶ *Painting or “waterproof” coating unpainted masonry.*

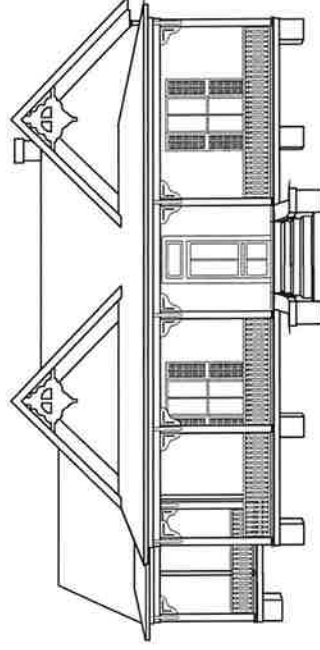


GOAL:

The primary goal is to maintain detail elements typical to historic houses, many of which impart a specific architectural style.

Actions to achieve the goal:

- ▶ Maintain and preserve historic details.
- ▶ Replace damaged details with details of matching material and matching design.
- ▶ Restore missing details when documentation of those elements are available.



Details refers to those components on the exterior of the house which serve to embellish the structure often related to a specific architectural style.

Glossary terms:

Bracket.

A decorative support feature located under eaves or overhangs.

Capital.

Topmost member of a column or pilaster.

Cornice.

The uppermost, projecting part of an entablature, or feature resembling it.

Dentil.

One of a series of small, square, tooth or block-like projections forming a molding.

Documentation.

Evidence of missing elements or configurations of buildings such as architectural plans, historic photographs, or "ghosts" of missing elements.

Fascia.

A projecting flat horizontal member or molding; forms the trim of a flat

Pilaster.

A pier attached to a wall, often with capital and base.

- more terms found in the *Glossary*, p. 96

Changes requiring a COA
Examples:

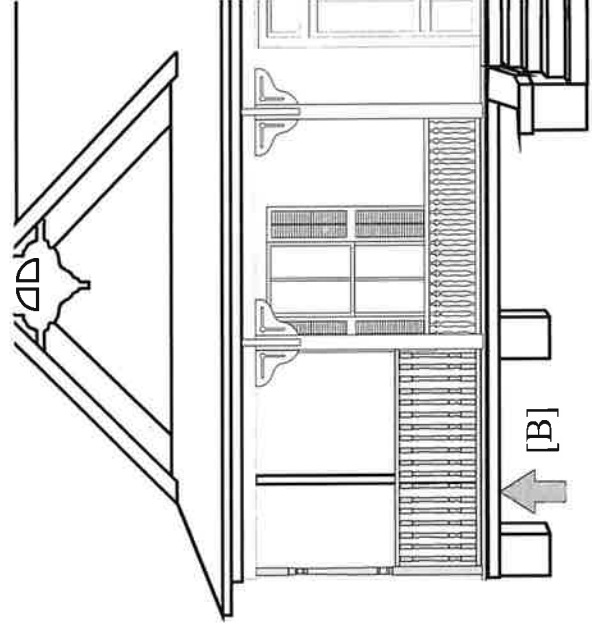
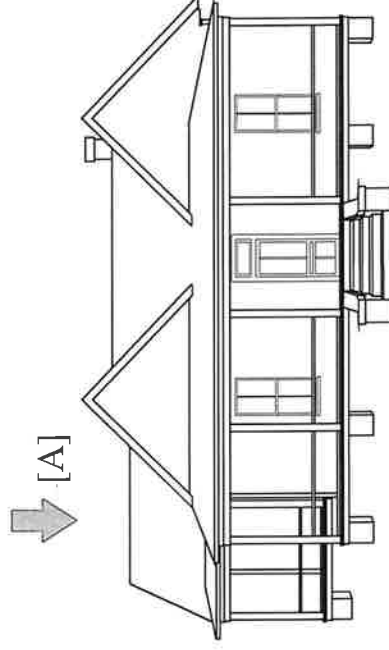
- * Removing architectural details.
- * Adding architectural details.

Changes not requiring a COA
Examples:

- * Repairing architectural details.
- * Repainting architectural details.

Common Mistakes

- ▶ *Adding architectural details where none existed before.*
- ▶ *Removing details from a house. [A]*
- ▶ *Using stock, out of scale details rather than matching the original details. [B]*

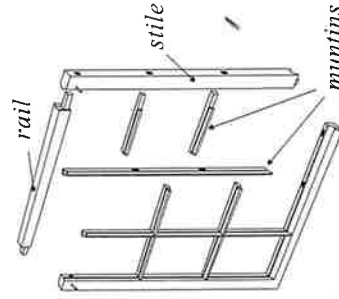


GOAL:

The primary goal is to maintain the historic windows, their design, and placement.

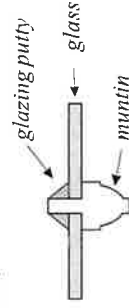
Actions to achieve the goal:

- ▶ Maintain and preserve historic windows – repair damaged portions of windows rather than replacing them in total.
- ▶ Historic windows damaged beyond repair should be replaced with windows of matching size, materials, pane configuration, and muntin profile. Aluminum clad wood windows may be allowed in some instances.
- ▶ Maintain or restore the historic window configuration on the facade.
- ▶ New windows on side and rear elevations should relate to historic windows in the following ways:
 - a) use matching materials,
 - b) be of matching or similar size, and
 - c) use matching or similar design.
- ▶ Only use storm windows which match the color of the window frame and hide the window as little as possible.



Replace only deteriorated sections rather than the entire window.

Section of historic muntin.



Windows refers to glazed openings in the exterior walls of the building.

Glossary terms:

Beyond repair.

When such a large portion of an element is damaged that repair becomes infeasible, generally, but not specifically, more than 50%.

Double hung window.

A window having two sashes, one sliding vertically over the other.

Fanlight.

An semicircular or semi-elliptical window with radiating muntins suggesting a fan.

Fenestration.

The arrangement of window openings in a building.

Lintel.

A horizontal beam over a door or window which carries the weight of the wall above; usually made of stone or wood.

Muntin.

A secondary framing member to divide and hold the panes of glass in a window.

Sash.

The portion of a window that holds the glass and which moves.

Sill.

The horizontal member located at the top of a foundation supporting the structure above; also the horizontal member at the bottom of a window or door.

Solid-to-void.

The total area of wall in comparison to the total area of openings on an elevation.

- more terms found in the Glossary, p. 96

Changes requiring a COA *Examples:*

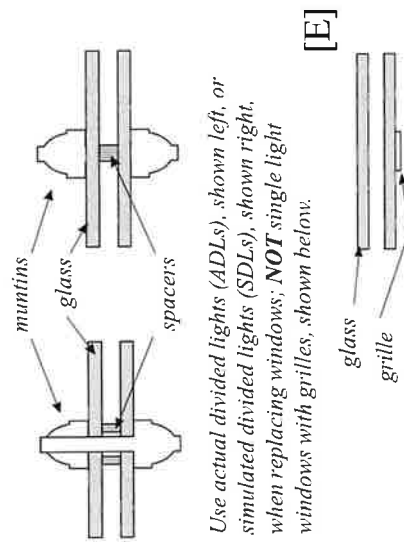
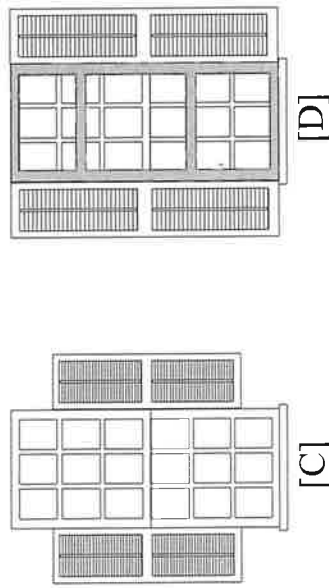
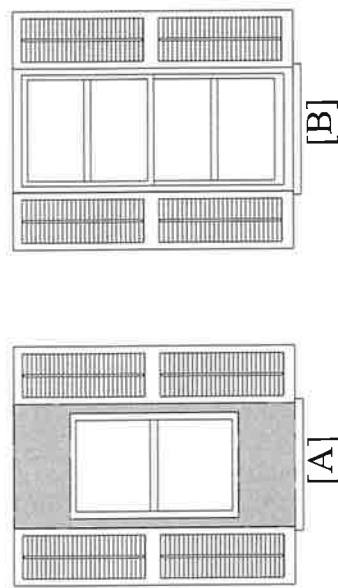
- * Removing and replacing windows.
- * Closing existing window openings.
- * Adding new window opening.
- * Adding new storm windows.

Changes not requiring a COA *Examples:*

- * Replacing broken window glass.
- * Repairing damaged portions of existing window sashes.
- * Weatherstripping, caulking, painting and other general maintenance.

Common Mistakes

- ▶ Replacing deteriorated but repairable historic windows with new windows, even similar looking windows.
- ▶ Replacing damaged windows with stock windows of a different size, design, or with flat muntins. [A], [B], [E]
- ▶ Using vinyl or aluminum replacement windows.
- ▶ Adding or removing windows on the facade.
- ▶ Adding shutters which do not fit the window or adding shutters to paired windows. [C]
- ▶ Adding storm windows of “raw” aluminum or which hide the historic window. [D]



Use actual divided lights (ADLs), shown left, or simulated divided lights (SDLs), shown right, when replacing windows; **NOT** single light windows with grilles, shown below.



70 REHABILITATION DOORS

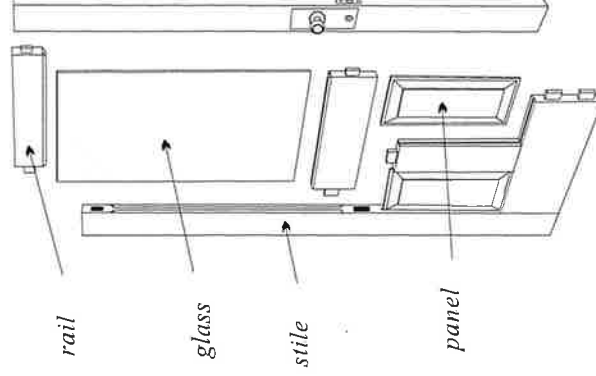
GOAL:

The primary goal is to maintain historic doors, their design, and their placement.

Actions to achieve the goal:

- ▶ Maintain and preserve historic doors.
- ▶ Repair damaged portions of doors rather than replacing them in total.
- ▶ Doors damaged beyond repair should be replaced with doors of matching materials and design.
- ▶ Maintain the door arrangement on the facade.
- ▶ New doors on side and rear elevations should relate to historic doors in the following ways:
 - a) use matching materials,
 - b) be of matching or similar size, and
 - c) use matching or similar design.
- ▶ Use storm doors which match the color of the door frame and hide the door as little as possible.

Replace only deteriorated sections rather than the entire door.



Doors refers to entrances into the building including the doorway and surrounding features such as sidelights and transoms.

Glossary terms:

Beyond repair.

When such a large portion of an element is damaged that repair becomes infeasible, generally, but not specifically, more than 50%.

Facade.

The front elevation or “face” of a building.

Fanlight.

An semicircular or semi-elliptical window with radiating muntins suggesting a fan.

French door.

A door made of many glass panes, usually used in pairs and attached by hinges to the sides of the opening in which it stands.

Mullion. A heavy vertical divider between windows or doors.

Pediment.

A triangular crowning element forming the gable of a roof; any similar triangular element used over windows, doors, etc.

Surround.

An encircling border or decorative frame, usually around a window or door.

Transom.

A small operable or fixed window located above a window or door.

- more terms found in the Glossary, p. 96

Changes requiring a COA Examples:

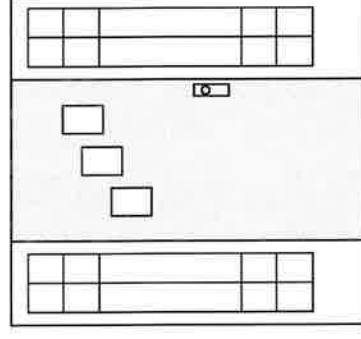
- * Removing and replacing doors.
- * Closing existing door openings.
- * Adding new door openings.
- * Adding new storm or screen doors.

Changes not requiring a COA Examples:

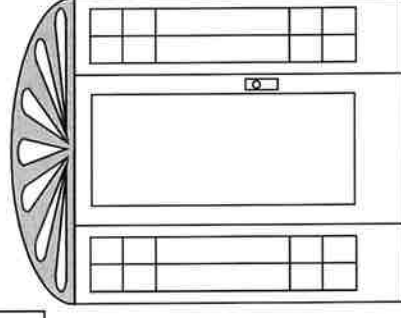
- * Repairing damaged portions of existing doors.
- * Weatherstripping, caulking, painting and other general maintenance.

Common Mistakes

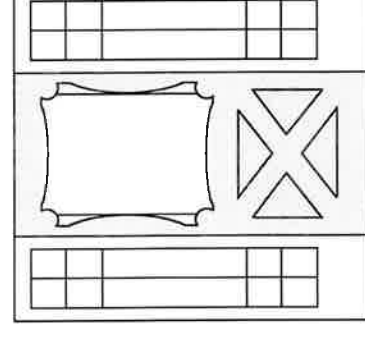
- ▶ *Replacing deteriorated but repairable historic doors with new doors, even if similar looking.*
- ▶ *Replacing damaged doors with stock doors of a different size or design.* [A]



[A]



[B]



[C]

- ▶ *Adding or removing doors on the facade.*
- ▶ *Adding sidelights, transoms, fanlights, or other features where none existed before.* [B]
- ▶ *Adding storm doors which hide the historic door.* [C]

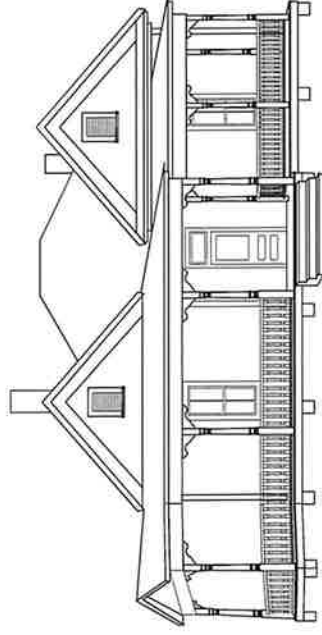
72 REHABILITATION PORCHES

GOAL:

The primary goal is to maintain the form, design, and materials of historic porches.

Actions to achieve the goal:

- ▶ Maintain and preserve the following aspects of historic porches:
 - a) the open design,
 - b) the historic materials
 - c) the roof supports and balustrades, and
 - d) the roof shape.
- ▶ Add only elements which are documented to have existed historically.
- ▶ Screen only rear and side porches or, in very few instances, the front porches of vernacular houses.
- ▶ Set screening behind architectural details.



Porches refers open transitional spaces outside the envelope of the house, generally roofed, located on the front, rear, or sides of a house.

Glossary terms:

Bracket.

A decorative support feature located under eaves or overhangs.

Routine maintenance.

Any action performed in order to preserve a historic property including minor replacement of material with like material providing no change is made to the appearance of the structure or grounds.

Vernacular.

Indigenous architecture that generally is not designed by an architect and may be characteristic of a particular area. Any local adaptation of popular architectural forms.

- more terms found in the *Glossary*, p. 96

Changes requiring a COA Examples:

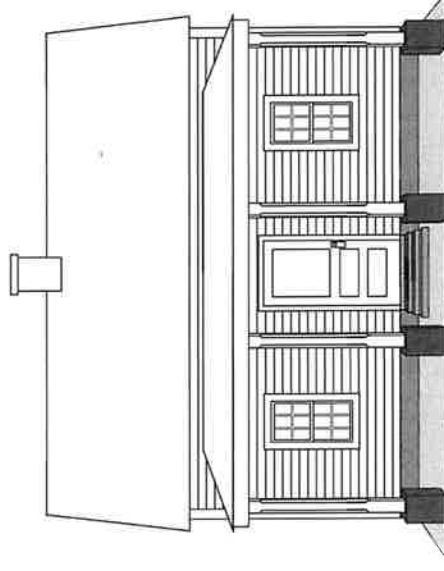
- * Removing porches or portions of porches.
- * Adding a new porch. (For new decks see p. 88)
- * Enclosing, glazing, or screening a porch.
- * Adding, removing, or replacing porch posts, railings, or other porch features.
- * Reroofing a porch with a different material.

Changes not requiring a COA Examples:

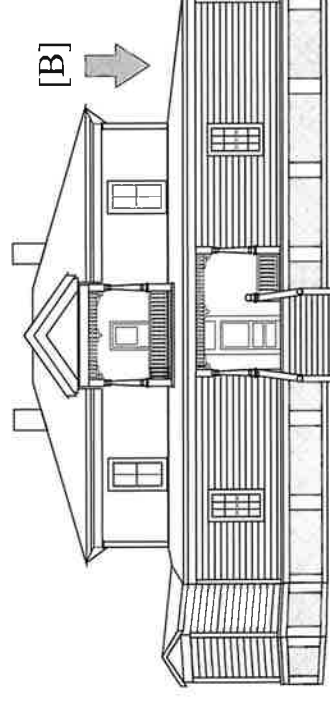
- * Repainting a porch.
- * Replacing a damaged porch floor with the same material.
- * Reroofing a porch with the same material.
- * Routine maintenance.

Common Mistakes

- ▶ *Replacing porch floor and foundation with slab concrete or brick. [A]*
- ▶ *Enclosing or glazing front porches or enclosing side porches. [B]*
- ▶ *Adding front porches to historic homes where none existed before.*
- ▶ *Screening architecturally significant front porches.*
- ▶ *Using stock "Victorian" replacement porch features that are out of scale with historic examples.*



↑ [A]



↑ [B]

RE: 814 Washington Street

From Frank Ferrer <fferrer@aviwindowsanddoors.com>

Date Wed 6/11/2025 4:14 PM

To 'Dawn Kyle' <dawn@sobrollc.com>; Bryan Wood <bryan.wood@perry-ga.gov>; James Kyle <jimkyle@sobrollc.com>

 6 attachments (184 KB)

Kyle Cottage - Shop Drawing.pdf; Kyle Cottage - Shop Drawing - Sill.pdf; Kyle Cottage - Shop Drawing - Check Rail.pdf; Kyle Cottage - Shop Drawing - Divided Lite.pdf; Kyle Cottage - Shop Drawing - Head.pdf; Kyle Cottage - Shop Drawing - Jamb.pdf;

Bryan,

Thank you for taking the time to discuss the Kyle's cottage windows with me.

As stated, I have attached shop drawings and window details for the windows quoted.

I will also provide the Kyle's with a window sample for their meeting with the DRB.

Please let me know if you have any questions or if there's anything more I could do for you.

Regards,

From: Dawn Kyle <dawn@sobrollc.com>

Sent: Wednesday, June 11, 2025 2:30 PM

To: Frank Ferrer <fferrer@aviwindowsanddoors.com>; Bryan Wood <bryan.wood@perry-ga.gov>; James Kyle <jimkyle@sobrollc.com>

Subject: 814 Washington Street

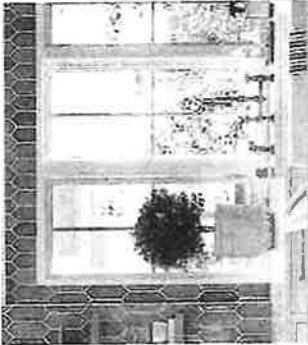
Good afternoon,

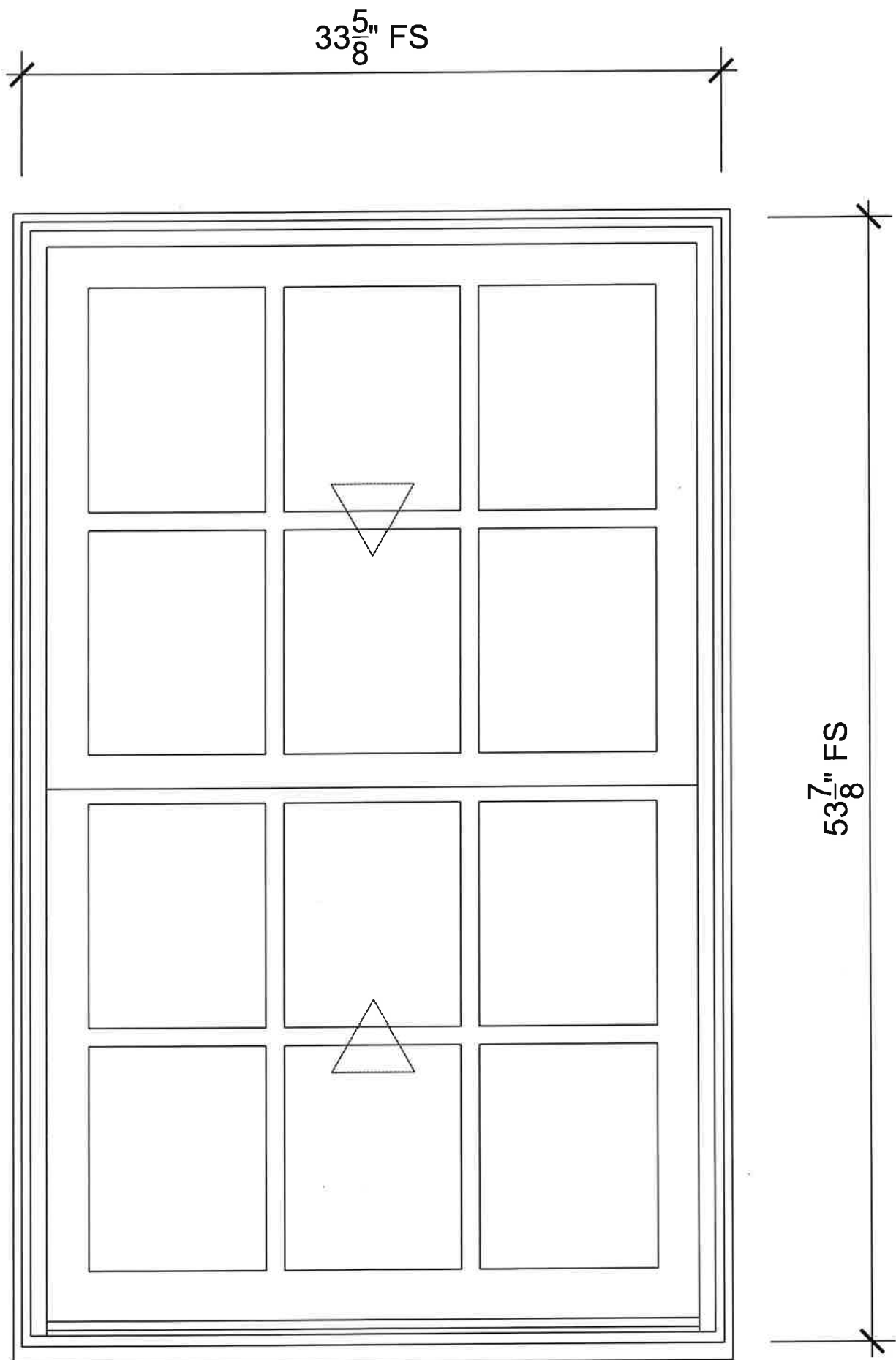
I have copied Frank Ferrer, our window contractor, in this email. Bryan, Frank will be able to answer any questions regarding the cottage windows. He will contact me about the next steps after you gentlemen talk.

THE MARVIN PORTFOLIO

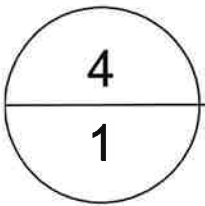
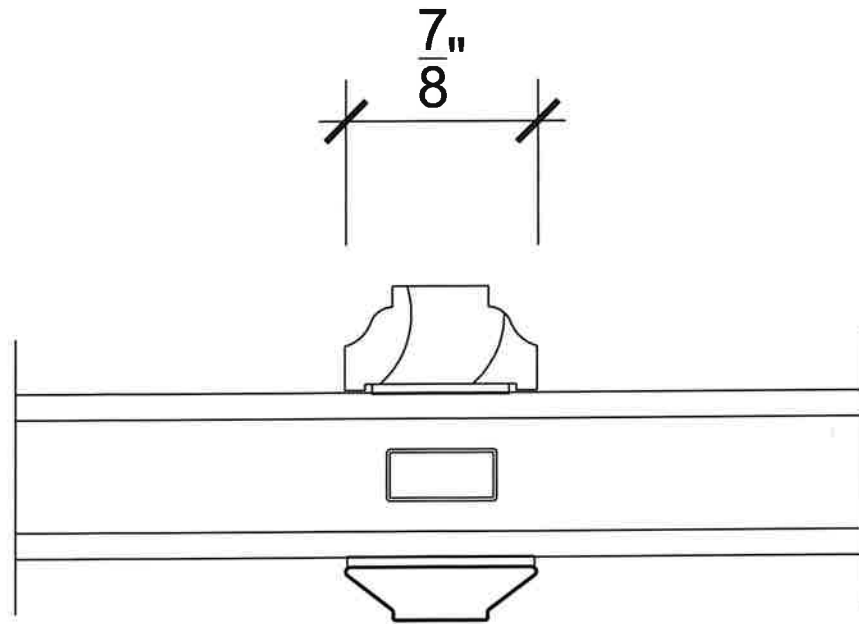
The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.

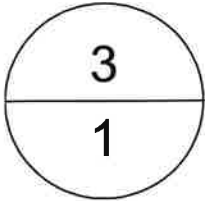
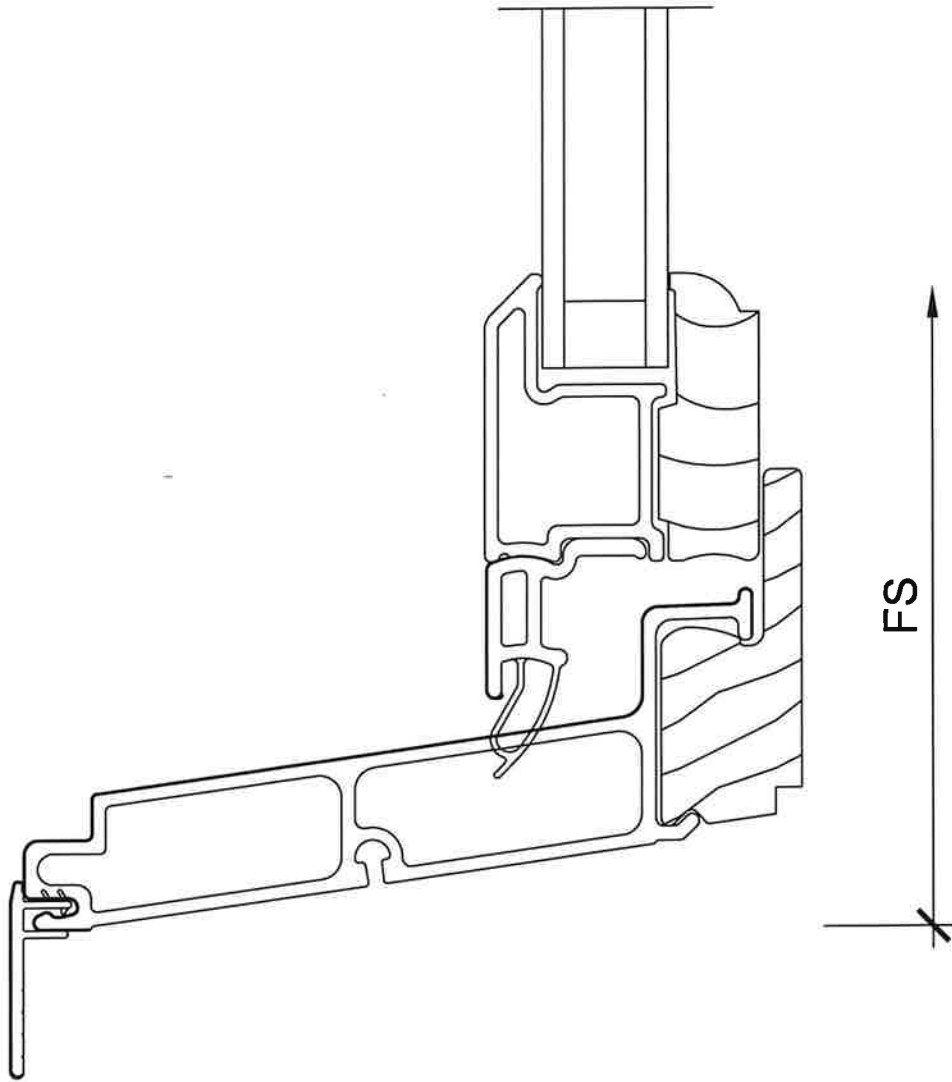
					
	ULTIMATE Most extensive selection of features, options, and product types	MODERN Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers	COASTLINE Custom windows and doors for high velocity hurricane zones in the coastal Southeast	ELEVATE Wide range of options and product types	ESSENTIAL Curated options and product types
	MARVIN SIGNATURE COLLECTION			MARVIN ESSENTIAL™ COLLECTION	
INTERIORS	WOOD 6 species options + custom 2 painted or stained options, 6 stains + clear coat	EXTRUDED ALUMINUM 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	WOOD Bare pine, painted Designer Black, painted White, or clear coat	FIBERGLASS 4 color options
EXTERIORS	EXTRUDED ALUMINUM 17 colors + custom OR WOOD 3 species + custom	FIBERGLASS 5 color options	EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	FIBERGLASS 6 color options	FIBERGLASS 6 color options
SIZING	Standard + custom sizing for replacement, remodeling or new construction	Custom sizing for remodeling or new construction	Custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction
HARDWARE	Extensive selection including Marvin Gallery Hardware	Minimalist hardware for modern design aesthetic	Available in multiple styles, sizes, and finishes to complement the window + door aesthetics	Available in 6 finish options with 2 door handle styles	Available in 6 finish options with 1 door handle styles
COASTAL + WATERFRONT	Hurricane Impact Zones 3 and 4, + PG 50 Products	All products rated for High Velocity Hurricane Zone (HZ4)	All products rated for High Velocity Hurricane Zone (HZ4)	Hurricane Impact Zone 3, + PG 50 Products	
HISTORIC SOLUTIONS					



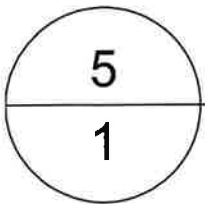
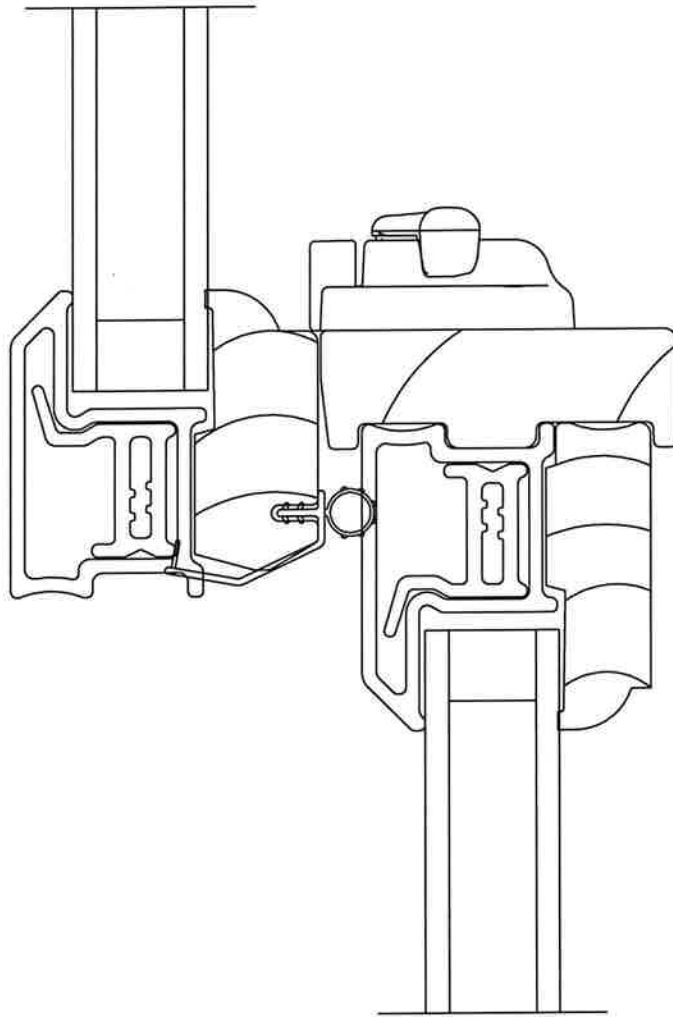
RIGHT OF KITCHEN DOOR



Divided Lite



Sill



Check Rail

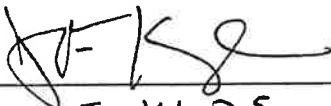


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Application # COA 0093-
2025

Application for Certificate of Appropriateness Historic Preservation Commission

Contact Community Development (478) 988-2720 for information

	Applicant	Property Owner*
Name	James Kyle (Kakapo Properties, LLC)	James Kyle
Title		
Address	814 Washington Street	
Phone		
Email		
Signature		
Date	5-14-25	

*If the applicant is not the owner, the owner must sign this form or provide a letter authorizing the proposed work.

Property Address	814 Washington Street
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Type of Project (Check all that apply):	
Construction ☐ New building ☐ Addition to existing building ☐ Major building restoration, rehabilitation, or remodel ☒ Other type of exterior change, explain: <u>minor building restoration</u>	Site Changes ☐ Parking area, driveways, or walkway ☒ Fence, wall, or landscaping ☐ Mechanical system or non-temporary structure ☐ Sign ☐ Demolition or relocation of building
Describe the proposed project (attach additional sheets as necessary). The description should include proposed materials. Please divide the description if the proposed scope of work will involve more than one type of project. (Example: 1. building addition and 2. sign installation). • Extend Front Porch and minor landscaping • Concrete • Pavers - Brick • new Fencing - wood • Reside Home - Wood Siding • Replace all windows - Marvin Clad • Paint Home in Hawthorne Yellow - Benjamin Moore	

Application Requirements. All applications must be complete and include the required support materials (See Application Checklist below). Incomplete applications will not be forwarded to the Preservation Commission for review.
Fee. No fee is required for review of an application for Certificate of Appropriateness unless work is started before a Certificate of Appropriateness is approved. In such cases the fee is \$238.00.
Application Deadline. Applications and support materials must be submitted 21 days prior to the regular Preservation Commission meeting, the second Tuesday of each month. Applications may be submitted to the Community Development office or online at https://perryga-energovpub.tylerhost.net/Apps/SelfService#/home
Application Representation. The applicant or an authorized representative of the applicant must attend the public hearing to support the application and answer any questions the Commission may have.
Expiration of Certificate. The Certificate of Appropriateness is valid for 6 months (180 days) from the date of approval. If work is not completed within that timeframe, the applicant must renew the COA. A COA associated with a permit remains valid for the life of the permit.
Permits Required. Approval of a certificate of appropriateness does not waive the need to obtain any required permits.

Application Checklist. A complete application requires support materials. The following materials are required for a complete application. Incomplete applications may be removed from the HPC's agenda. Digital photographs and PDFs of plans/elevations may be emailed to comm.development@perry-ga.gov	
New Buildings and Additions ☐ site plan ☐ architectural elevations ☐ floor plan ☐ landscape plan (specific vegetation not required) ☐ description of materials ☐ photographs of proposed site and adjoining properties	Site changes - parking areas, drives, and walks ☐ Site plan or sketch of site with proposed improvements ☐ description of materials ☐ photographs of site
Major Restoration, Rehabilitation, or Remodeling ☐ architectural elevations or sketches ☐ description of proposed changes ☐ description of materials ☐ photographs of existing building ☐ for restoration only, documentation of earlier historic appearance	Site changes - fences, walls, and mechanical systems ☐ site plan or sketch of site with proposed improvements ☐ architectural elevations or sketches ☐ description of materials ☐ photographs of site
Minor exterior changes ☐ description of proposed changes ☐ description of materials ☐ photographs of existing building	Site changes - signs ☐ drawing of sign with dimensions ☐ site plan or sketch of site (for ground signs) ☐ description of materials and illumination











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STAFF REPORT

July 1, 2025

CASE NUMBER: COA-0099-2025
APPLICANT: Wright Woodall for Perry First Baptist Church
REQUEST: Replace siding, handicap ramp, and add parking
LOCATION: 1100 Swift Street; Parcel No. 0P0020 086000
DISTRICT: Swift Street

APPLICANT'S REQUEST: The applicant proposes to replace existing vinyl siding with new vinyl; replace the existing handicap access ramp with an aluminum ramp; and add an asphalt parking area behind the house with access from First Street.

STAFF COMMENTS: The HPC has determined that replacing vinyl siding with vinyl siding is acceptable. None of the existing details of the house should be removed or covered. The aluminum handicap ramp will be located on the side elevation facing First Street. A black aluminum ramp would be less visually disruptive. Installation of the ramp should not cause permanent damage to the historic structure. The proposed parking area will be located between the existing garage and First Street, in the area of the existing driveway. Because the parking area will be adjacent to First Street, a landscape buffer should be installed adjacent to the public sidewalk.

STAFF RECOMMENDATION: Approval as presented with the following conditions:

1. Aluminum handicap ramp shall be black;
2. A landscape buffer, complying with the street buffer requirements, shall be installed between the parking lot and the public sidewalk on First Street.

APPLICABLE DESIGN GUIDELINES ATTACHED. Residential Rehabilitation: Siding; Residential Site and Settings: Walks & Drives, Access



View from Swift Street



View from First Street

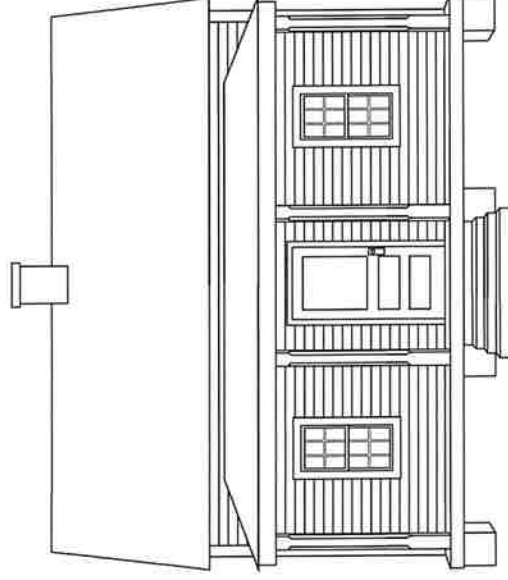


GOAL:

The primary goal is to maintain the texture created by historic exterior materials.

Actions to achieve the goal:

- ▶ Maintain historic siding.
- ▶ Leave unpainted masonry unpainted and uncoated.
- ▶ Repair damaged siding or replace with in-kind material and only in the area of damage (rather than completely replacing the siding).
- ▶ Use a historic mortar mix [see right] and match the original mortar joints when repointing brick. Use a qualified professional mason.
- ▶ Use the gentlest means possible to clean exterior materials.



Materials, in this instance, refers to the material with which the exterior walls of the house are covered.

Glossary terms:

Bond.

A term used to describe the various patterns in which brick is laid.

Gentlest means possible.

The least abrasive, intrusive, damaging means of preserving historic material.

Historic mortar mix.

There are designated five mortar types. Typically, the repointing mortar for historic buildings will be a Type O or K mortar. Mortar specifications permit a range of proportions, but typical proportions by volume are: Type O - 1 part portland cement, 2 parts hydrated lime, and 9 parts sand; Type K - 1 part portland cement, 4 parts hydrated lime and 15 parts sand.

In-kind.

Using the exact same material when replacing a damaged element (e.g. using a wood element to replace a wood element).

Reveal.

The vertical profile created by the lap of siding, window casings, muntins, door surrounds, etc.

Siding. The exterior wall covering or sheathing of a structure.

- more terms found in the *Glossary*, p. 96

Changes requiring a COA Examples:

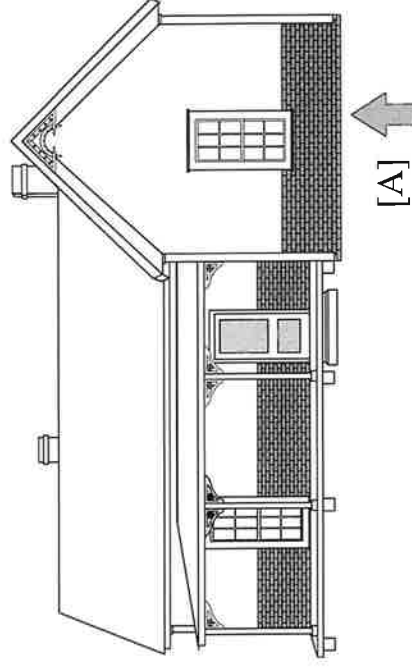
- * Removing siding material.
- * Residing a building.
- * Painting unpainted masonry.
- * Entirely removing paint from a building.
- * Repointing of brick.

Changes not requiring a COA Examples:

- * Repainting a building.
- * Preparing surfaces for repainting.

Common Mistakes

- ▶ *Placing vinyl or aluminum siding, EIFS (synthetic stucco), or any other type of synthetic siding on a historic house rather than maintaining and repairing the existing exterior materials.*
- ▶ *Adding brick veneer to a house. [A]*
- ▶ *Sandblasting exterior surfaces.*
- ▶ *Painting or “waterproof” coating unpainted masonry.*



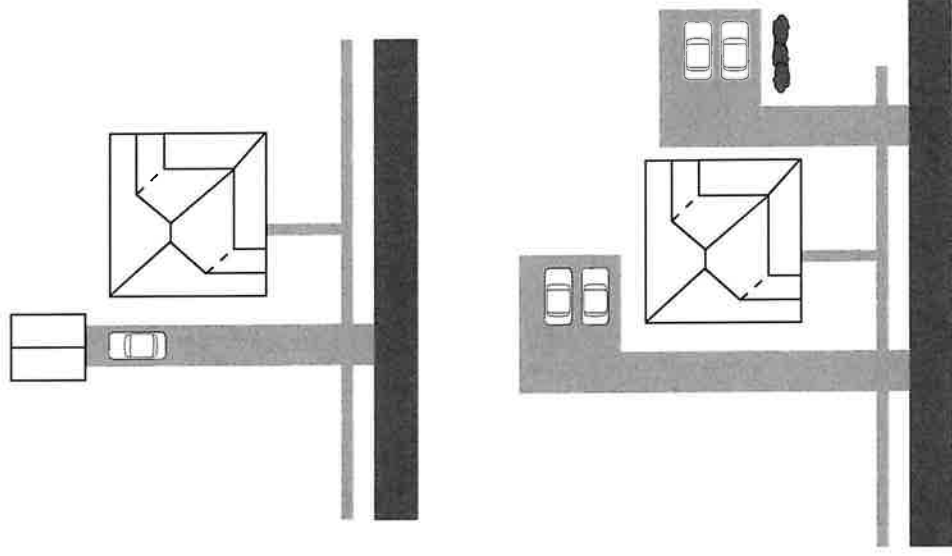
WALKS & DRIVES

GOAL:

The primary goal is to maintain the pattern of paved and unpaved areas found within the historic district.

Actions to achieve the goal:

- ▶ Historic walks and drives should be maintained and preserved.
- ▶ New walks should:
 - a) use traditional placement: generally, directly from the street to the entrance for front walks, and
 - b) use traditional materials: gravel, concrete, stone pavers, and in a few instances bricks.
- ▶ New drives should:
 - a) use traditional placement: generally, straight along the side of the house, and
 - b) use traditional materials: gravel or concrete.
- ▶ Parking should be located to the rear of the house (preferred) or to the side behind the facade line of the house and screened.



Walks and drives refers to paved pathways both to the property and within the property as well as parking areas.

Glossary terms:

Facade line.

An imaginary line established by the fronts of buildings on a block.

Paving.

Any material used for pavement such as asphalt, brick, concrete, gravel, or pavers.

- more terms found in the *Glossary*, p. 96

Changes requiring a COA Examples:

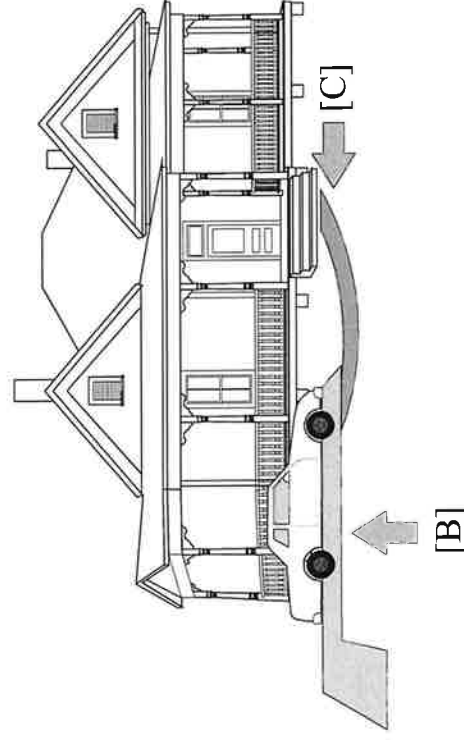
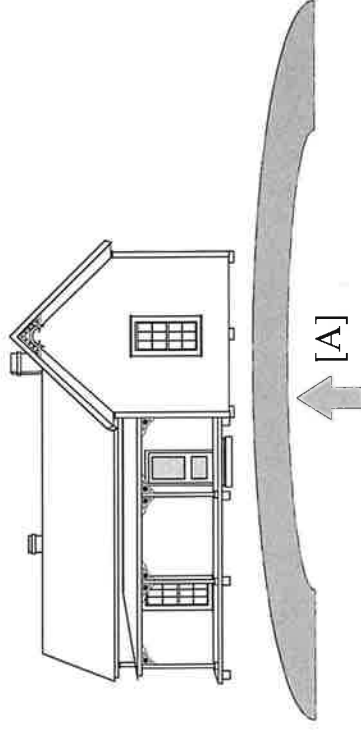
- * Removing an existing walk or drive.
- * Constructing a new walk or drive.
- * Changing the paving material for and existing walk or drive.
- * Extending an existing walk or drive.
- * Adding parking areas.

Changes not requiring a COA Examples:

- * Resurfacing an existing walk, drive or parking area with the same material.

Common Mistakes

- ▶ *Using asphalt or brick for driveways.*
- ▶ *Using circular drives where none existed historically. [A]*
- ▶ *Placing parking forward of the facade line of the house. [B]*
- ▶ *Constructing walks that lead only to the drive rather than the street or public sidewalk. [C]*



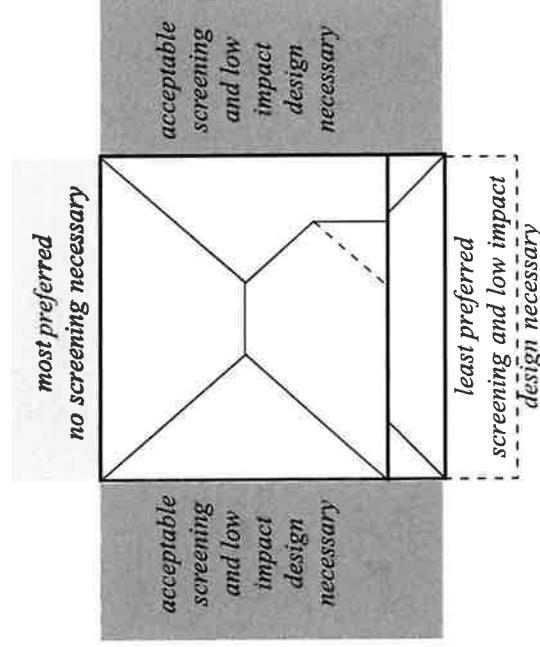
GOAL:

The primary goal is to provide barrier free access and code required egress while preserving the historic character of the building.

Actions to achieve the goal:

- ▶ Place ramps and other access aids as unobtrusively as possible while still providing convenient access to users.
- ▶ Use materials which create the least visual impact.
- ▶ Place fire escapes on side or rear elevations.
- ▶ Screen access changes with vegetation.
- ▶ Limit the removal of historic material.
- ▶ Make changes reversible.

Access Locations



Access refers to changes required by safety codes, fire codes, the Americans with Disabilities Act, or owners' special access needs.

Glossary terms:

Barrier free access.

The provision of appropriate accommodations to ensure use of buildings by persons with disabilities.

Elevation.

Any of the external faces of a building.

Facade.

The front elevation or "face" of a building.

Public view.

That which can be seen from any public right-of-way.

Reversible.

Constructing additions or new elements in such a manner that if removed in the future original form and material would be largely unchanged.

- more terms found in the *Glossary*, p. 96

Changes requiring a COA
Examples:

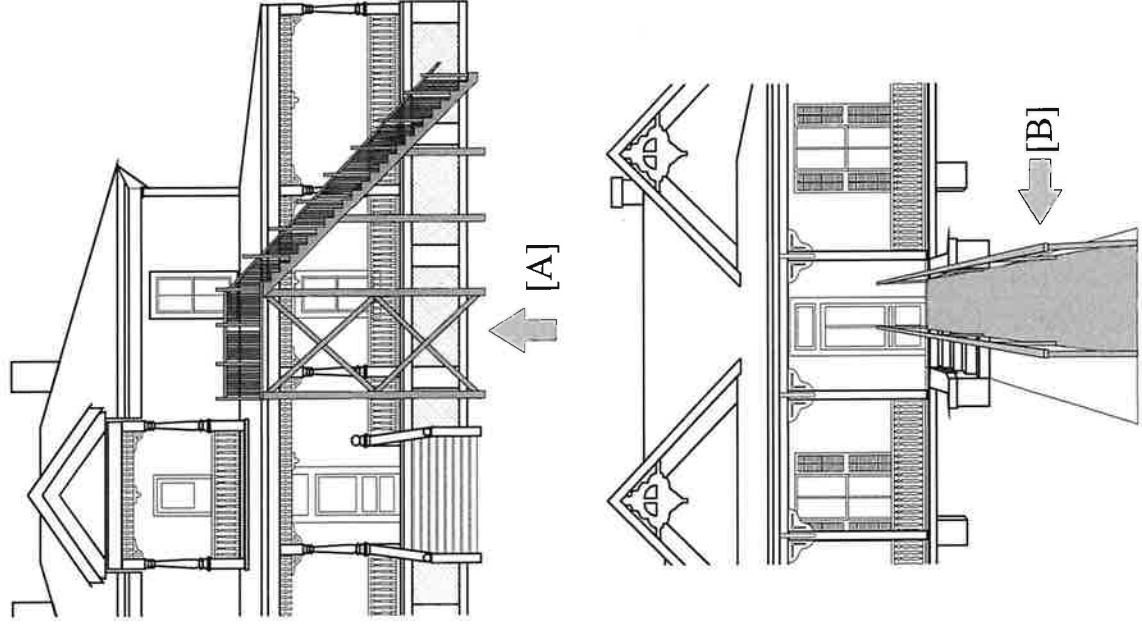
- * Constructing a wheelchair ramp.
- * Constructing a fire escape.
- * Constructing an exterior elevator.

Changes not requiring a COA
Examples:

- * Interior modifications for accessibility.
- * Minor alterations of thresholds for accessibility.

Common Mistakes

- ▶ Replacing or covering front steps with a ramp. [B]
- ▶ Adding a fire escape to the facade. [A]
- ▶ Altering the symmetry of a building.
- ▶ Not screening access features within the public view.





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Application # COA 0099-2025

Application for Certificate of Appropriateness Historic Preservation Commission

Contact Community Development (478) 988-2720 for information

	Applicant	Property Owner*
Name	Wright Woodall	First Baptist Perry
Title	President, Flint Building Company	Trent Dowd, Committee Chair
Address	304 Moore Rd Macon, GA 31220	1105 Main St Perry, GA
Phone	[REDACTED]	[REDACTED]
Email	[REDACTED]	[REDACTED]
Signature		
Date	6.16.25	

*If the applicant is not the owner, the owner must sign this form or provide a letter authorizing the proposed work.

Property Address	1105 Main St Perry, GA 1100 Swift Street
------------------	--

Type of Project (Check all that apply):	
Construction ☐ New building ☐ Addition to existing building ☐ Major building restoration, rehabilitation, or remodel ☒ Other type of exterior change, explain: <u>Siding replacement</u>	Site Changes ☒ Parking area, driveways, or walkway ☐ Fence, wall, or landscaping ☐ Mechanical system or non-temporary structure ☐ Sign ☐ Demolition or relocation of building
Describe the proposed project (attach additional sheets as necessary). The description should include proposed materials. Please divide the description if the proposed scope of work will involve more than one type of project. (Example: 1. building addition and 2. sign installation).	
1. Renovation of existing office space in historic house on property. Includes removal of existing vinyl and wood siding, insulation, and replacement of vinyl siding over new sheathing and housewrap. 2. Update one bathroom for ADA compliance. — bldg. permit req'd 3. Replace existing handicap ramp with new code complaint aluminum ramp. — bldg permit req'd 4. Add small asphalt parking area adjacent to driveway to include handicap parking.	

* pre App

Application Requirements. All applications must be complete and include the required support materials (See Application Checklist below). Incomplete applications will not be forwarded to the Preservation Commission for review.
Fee. No fee is required for review of an application for Certificate of Appropriateness unless work is started before a Certificate of Appropriateness is approved. In such cases the fee is \$238.00.
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Application Representation. The applicant or an authorized representative of the applicant must attend the public hearing to support the application and answer any questions the Commission may have.
Expiration of Certificate. The Certificate of Appropriateness is valid for 6 months (180 days) from the date of approval. If work is not completed within that timeframe, the applicant must renew the COA. A COA associated with a permit remains valid for the life of the permit.
Permits Required. Approval of a certificate of appropriateness does not waive the need to obtain any required permits.

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Major Restoration, Rehabilitation, or Remodeling ☐ architectural elevations or sketches ☐ description of proposed changes ☐ description of materials ☐ photographs of existing building ☐ for restoration only, documentation of earlier historic appearance	Site changes - fences, walls, and mechanical systems ☐ site plan or sketch of site with proposed improvements ☐ architectural elevations or sketches ☐ description of materials ☐ photographs of site
Minor exterior changes ☒ description of proposed changes ☒ description of materials ☒ photographs of existing building	Site changes - signs ☐ drawing of sign with dimensions ☐ site plan or sketch of site (for ground signs) ☐ description of materials and illumination



FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION

